



Company Name:

---

**TARRANT COUNTY**  
PURCHASING DEPARTMENT

MELISSA LEE, C.P.M., A.P.P.  
PURCHASING AGENT

CHRIS LAX, CPSM, CPSD, CPCP  
ASSISTANT PURCHASING AGENT

**VOLUME 2 – TECHNICAL SPECIFICATIONS**

**RFB NO. 2023-068**

**PROJECT MANUAL  
FOR  
CRIMINAL DISTRICT COURT RENOVATIONS  
GENERAL CONTRACTOR WORK**

**TIM CURRY CRIMINAL JUSTICE CENTER  
401 W. BELKNAP STREET  
FORT WORTH, TX 76196**

**BIDS DUE FEBRUARY 23, 2023  
2:00 P.M. CST**

*Technical Specifications Prepared by*

Architect: GSBS Architects  
901 W. Vickery Blvd.  
Suite 100  
Fort Worth, TX 76104

MEP/FP: Summit Consultants  
1300 Summit Ave., Suite 500  
Fort Worth, TX 76102

**RFB NO. 2023-068**

Criminal District Court Renovations General Contractor Work  
Tim Curry Criminal Courts Building-Tarrant County  
401 W Belknap, Fort Worth, Texas 76196

Criminal District Court Renovations General Contractor Work

The general scope of the work is on two floors of the facility. One area on the fifth floor with approximately 670 sf and one area on the 6th floor with approximately 670 sf that are being remodeled into smaller offices in support of the 485th District Court.

The total SF of work area will be approximately 1340 SF.

General work in the areas include Selective Demolition of existing finishes and drywall partitions and new construction of Drywall, Painting and Sealants, Carpet replacement, Painting, Acoustical ceilings, Doors and Frames, Electrical, Plumbing, Mechanical.

Contractor shall bid the Building Automation Controls work, (BAC) using Tarrant County Contracted Vendor, Enviromatic Systems Services, Inc. Contact Sid Ellis Jr. 972-206-2590 or [sellis@enviromaticsystems.com](mailto:sellis@enviromaticsystems.com)

Owner Provided work:

Tarrant County will contract directly with our Test, Adjust & Balance Consultant, Air Balancing Company, Inc. A separate PO will be issued to them for this work.

Tarrant County will also contract directly with Able Communications for the IT Data Drops.

All work for this project is to be accomplished after normal business hours. For this project, those hours are Monday through Friday, 6:01 PM – 5:50 AM and weekends.

HONORABLE B. GLEN WHITLEY  
COUNTY JUDGE

HONORABLE ROY CHARLES BROOKS  
COMMISSIONER PRECINCT 1

HONORABLE DEVAN ALLEN  
COMMISSIONER PRECINCT 2

HONORABLE GARY FICKES  
COMMISSIONER PRECINCT 3

HONORABLE J.D. JOHNSON  
COMMISSIONER PRECINCT 4

# TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

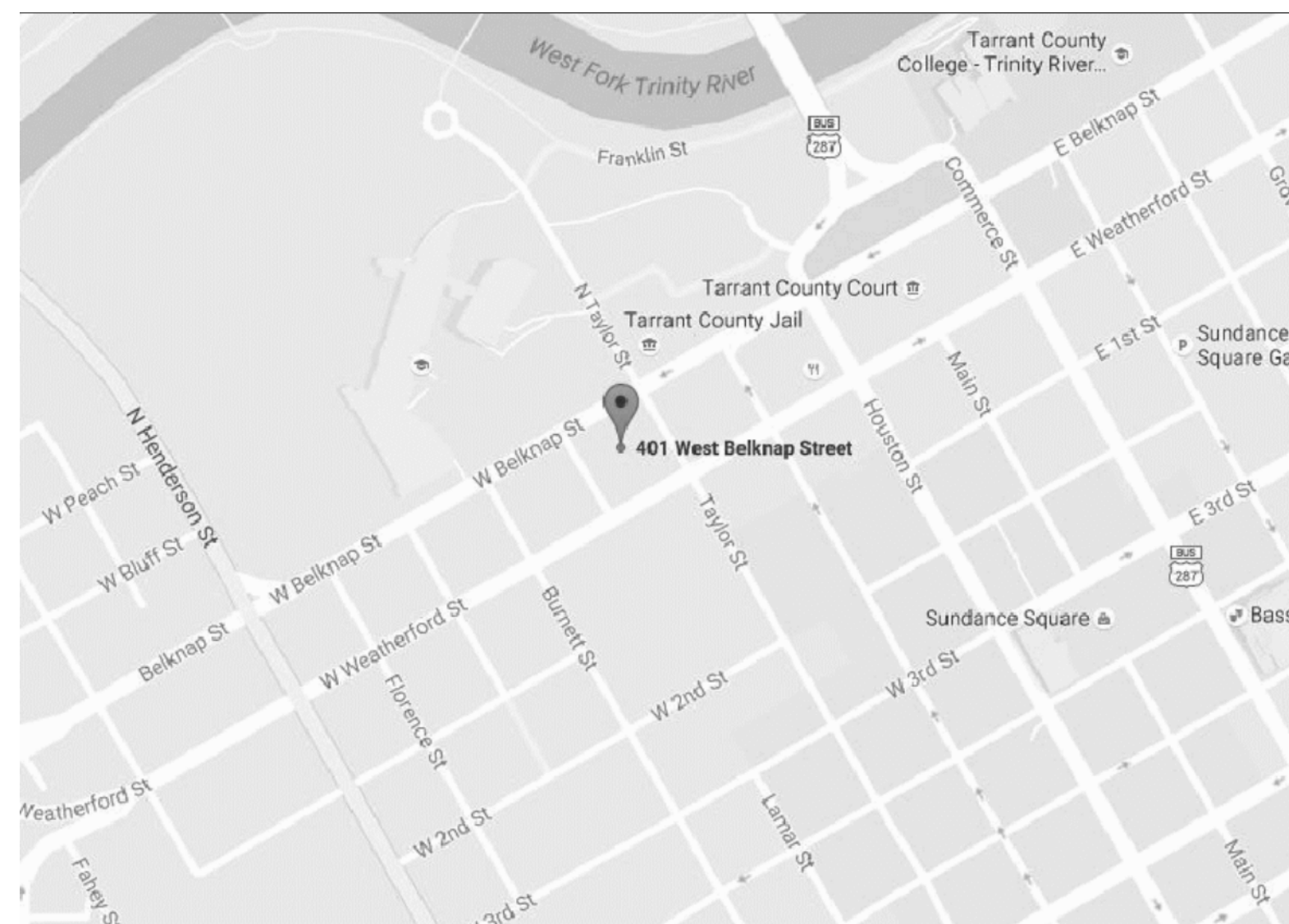
## CONSTRUCTION DOCUMENTS

MEP ENGINEERING:  
SUMMIT CONSULTANTS, INC  
1300 SUMMIT AVENUE SUITE 500  
FORT WORTH, TX 76102  
817-878-4242



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### VICINITY MAP



### DRAWING INDEX

SHEET NUMBER	SHEET NAME
<b>GENERAL</b>	
G000	COVER SHEET
<b>DEMOLITION</b>	
D100	5TH AND 6TH FLOOR DEMOLITION
<b>ARCHITECTURE</b>	
A100	OVERALL 5TH FLOOR PLAN
A101	OVERALL 6TH FLOOR PLAN
A102	ENLARGED 5TH AND 6TH FLOOR PLANS
A103	ENLARGED 5TH AND 6TH FLOOR FINISH AND SIGNAGE PLANS
A104	5TH AND 6TH REFLECTED CEILING PLANS
A200	INTERIOR DETAILS AND DOOR SCHEDULE
A300	SPECIFICATIONS
A301	SPECIFICATIONS

SHEET NUMBER	SHEET NAME
<b>MECHANICAL</b>	
M100	5TH AND 6TH FLOOR DEMOLITION
M101	5TH AND 6TH FLOOR PLANS
<b>PLUMBING</b>	
P100	5TH AND 6TH FLOOR DEMOLITION
P101	5TH AND 6TH FLOOR PLANS
<b>ELECTRICAL</b>	
E100	5TH AND 6TH FLOOR DEMOLITION
E101	5TH AND 6TH FLOOR PLANS

### ABBREVIATIONS

ABV	ABOVE	DEPT	DEPARTMENT	GOVT.	GOVERNMENT	MECH.	MECHANICAL	SHT.	SHEET
A.F.F.	ABOVE FINISH FLOOR	DTL.	DETAIL	GFCI	GOVERNMENT FURNISHED CONTRACTOR INSTALLED	MTL.	METAL	SHR.	SHOWER
ADJ.	ADJUSTABLE	Ø	DIAMETER	GFGI	GOVERNMENT FURNISHED GOVERNMENT INSTALLED	MIN.	MINIMUM	SIM.	SIMILAR
ALUM.	ALUMINUM	DIA.	DIAMETER	GND.	GROUND	MISC.	MISCELLANEOUS	STC	SOUND TRANSMISSION COEFFICIENT
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	DBL.	DOUBLE	GYP. BD.	GYPSON BOARD	N.I.C.	NOT IN CONTRACT	SPEC.	SPECIFICATION
AB	ANCHOR BOLT	DWGS.	DRAWINGS	HC.	HANDICAPPED	N.T.S.	NOT TO SCALE	STD.	STANDARD
<	ANGLE	EA.	EACH	HDWR.	HARDWARE	#	NUMBER	STRUCT.	STRUCTURAL
APPROX.	APPROXIMATE	E.F.	EACH FACE	HSA	HEADED STUD ANCHOR	NO.	NUMBER	SUPER.	SUPERVISOR
ARCH.	ARCHITECTURAL OR ARCHITECT	E.S.	EACH SIDE	HVAC	HEATING/VENTILATION/AIR CONDITIONING	O.C.	ON CENTER	SUSP.	SUSPENDED
@	AT	E.W.	EACH WAY	HT.	HEIGHT	OWSJ	OPEN WEB STEEL JOIST	THRU	THROUGH
BP	BASE PLATE	EWC	ELECTRIC WATER COOLER	H.M.	HOLLOW METAL	OPP.	OPPOSITE	T.O.	TOP OF
BRG.	BEARING	EL.	ELEVATION	HORIZ.	HORIZONTAL	O.D.	OUTSIDE DIAMETER	T.O.A.	TOP OF ASPHALT
B.M.	BENCHMARK	ELEV.	ELEVATION	H.R.	HOUR	O.F.	OUTSIDE FACE	T.O.C.	TOP OF CURB
BTWN	BETWEEN	EQ.	EQUAL	HYD.	HYDRANT	O.H.D.	OVERHEAD DOOR	T.O.F.	TOP OF FOOTING
BITUM.	BITUMINOUS	EXIST.	EXISTING	IN.	INCHES OR INCH	PNT	PAINTED OR PAINT	T.O.S.	TOP OF SLAB OR SIDEWALK
BD.	BOARD	EXP.	EXPANSION	INFO.	INFORMATION	PTN	PARTITION	T.O.W.	TOP OF WALL
BOT.	BOTTOM	EXT.	EXTERIOR	I.D.	INSIDE DIAMETER	PERP.	PERPENDICULAR	TYP.	TYPICAL
B.O.	BOTTOM OF	FT.	FEET OR FOOT	I.F.	INSIDE FACE	PL.	PLATE	U.N.O.	UNLESS NOTED OTHERWISE
BLDG	BUILDING	F.V.	FIELD VERIFY	INSUL.	INSULATION	PLF	POUNDS PER LINEAL FOOT	VEN.	VEENER
CLG.	CEILING	FIN	FINISH	INT.	INTERIOR	PSF	POUNDS PER SQUARE FOOT	V.I.F.	VERIFY IN FIELD
CL	CENTER LINE	FF	FINISH FLOOR	LAV.	LAVATORY	PL	PLATE	VERT.	VERTICAL
CT	CERAMIC TILE	FE	FIRE EXTINGUISHER	LT.	LIGHT	PCF	POUNDS PER CUBIC FOOT	VEST.	VESTIBULE
CLR.	CLEAR	FEC	FIRE EXTINGUISHER CABINET	LT. WT.	LIGHT WEIGHT	PLF	POUNDS PER LINEAL FOOT	VCT	VINYL COMPOSITION TILE
COL	COLUMN	FLR.	FLOOR	MAINT.	MAINTENANCE	PSF	POUNDS PER SQUARE FOOT	WWF	WELDED WIRE FABRIC
CONC	CONCRETE	FD	FLOOR DRAIN	MANUF.	MANUFACTURER	PROT.	PROTECTION	W/	WITH
CMU	CONCRETE MASONRY UNIT	FDN.	FOUNDATION	MFR.	MANUFACTURER	QTY.	QUANTITY	WD.	WOOD
CONST.	CONSTRUCTION	GA.	GAGE/GAUGE	M.O.	MASONRY OPENING	RAD.	RADIUS		
CONT.	CONTINUOUS	GAL.	GALLON	MAT.	MATERIAL	REINF.	REINFORCED		
C.J.	CONTROL JOINT	GPM	GALLONS PER MINUTE	MAX.	MAXIMUM	REQ.	REQUIRED		
COORD.	COORDINATE	GALV.	GALVANIZED			R.D.	ROUGH OPENING		
DBA	DEFORMED BAR ANCHOR					RM.	ROOM		
						R.O.	ROUGH OPENING		
						SCHED.	SCHEDULE		

### GRAPHIC SYMBOLS

	GRID	GRID LINES
	DETAIL SYMBOL	DETAIL NUMBER/ SHEET WHERE DETAIL IS DRAWN
	BUILDING SECTION SYMBOL	SECTION REFERENCE/ SHEET WHERE SECTION IS DRAWN
	WALL SECTION SYMBOL	SECTION REFERENCE/ SHEET WHERE SECTION IS DRAWN
	EXTERIOR ELEVATION SYMBOL	ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
	INTERIOR ELEVATION SYMBOL	ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
	ELEVATION CONTROL POINT	OR DATUM POINT
	100A	DOOR TAG DOOR NUMBER
	W1	WINDOW TAG WINDOW OR STOREFRONT NUMBER
	NAME 101	ROOM TAG ROOM NAME ROOM NUMBER
	REVISION TAG	
	# VIEW NAME SHEET SCALE	VIEW TITLE VIEW NUMBER/ SHEET WHERE VIEW IS LOCATED VIEW NAME/ VIEW SCALE

### MATERIALS/LEGEND

	CONCRETE MASONRY UNIT
	FACE BRICK
	CONCRETE (POURED IN PLACE)
	GYPSON BOARD OR SETTING BEDS
	INSULATION (BATT & BLANKET)
	INSULATION (RIGID/SEMI-RIGID)
	PLYWOOD
	CONTINUOUS ROUGH WOOD
	BLOCKING, ROUGH WOOD
	METAL (LARGE SCALE)
	GRAVEL
	EARTH
	COMPACTED FILL
	QUARRY/CERAMIC TILE
	FIREPROOFING
	WOOD

TARRANT  
COUNTY 485TH  
CRIMINAL  
DISTRICT COURT

401 W Belknap St. Fort Worth, TX 76196  
TARRANT COUNTY  
FACILITIES MANAGEMENT

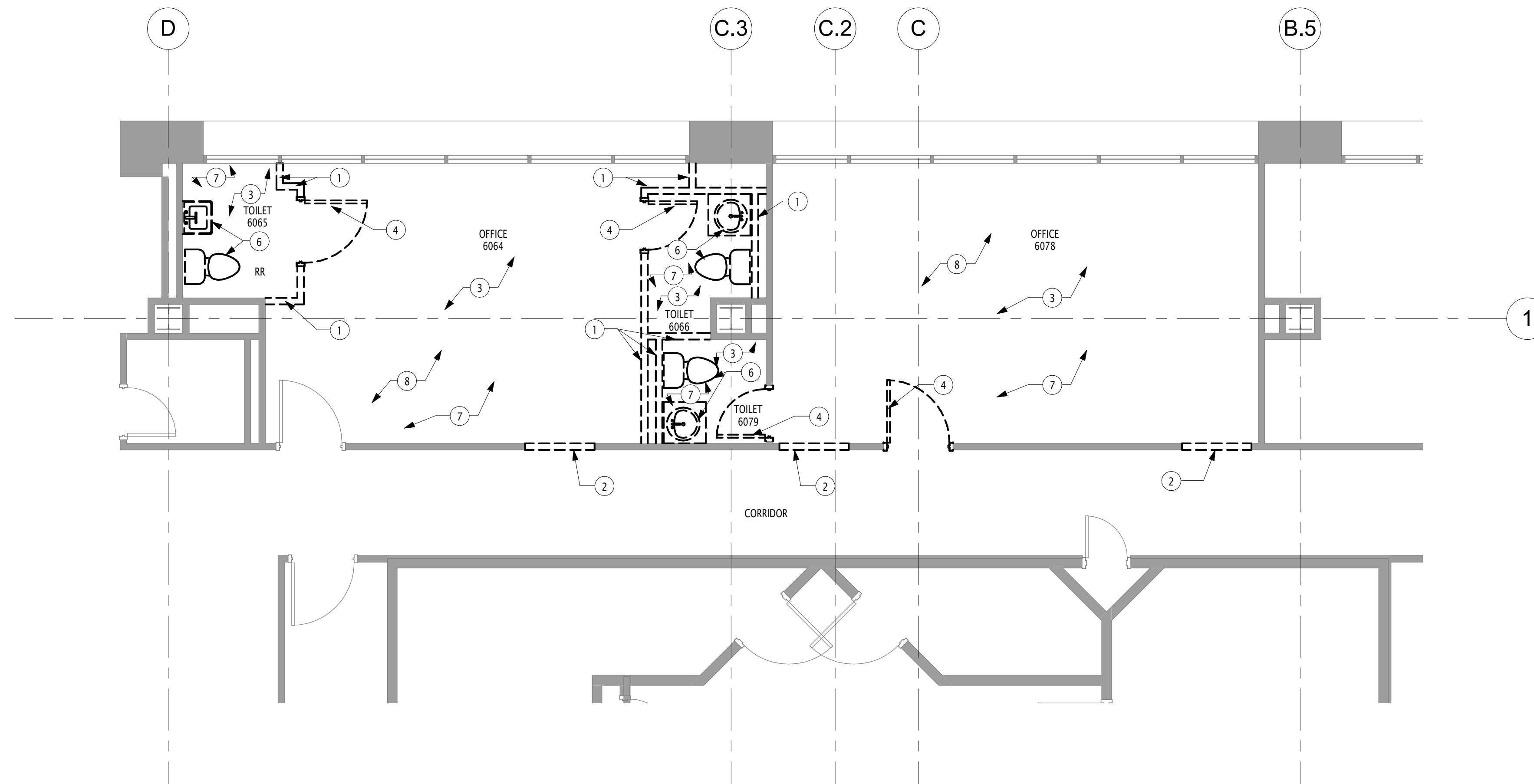
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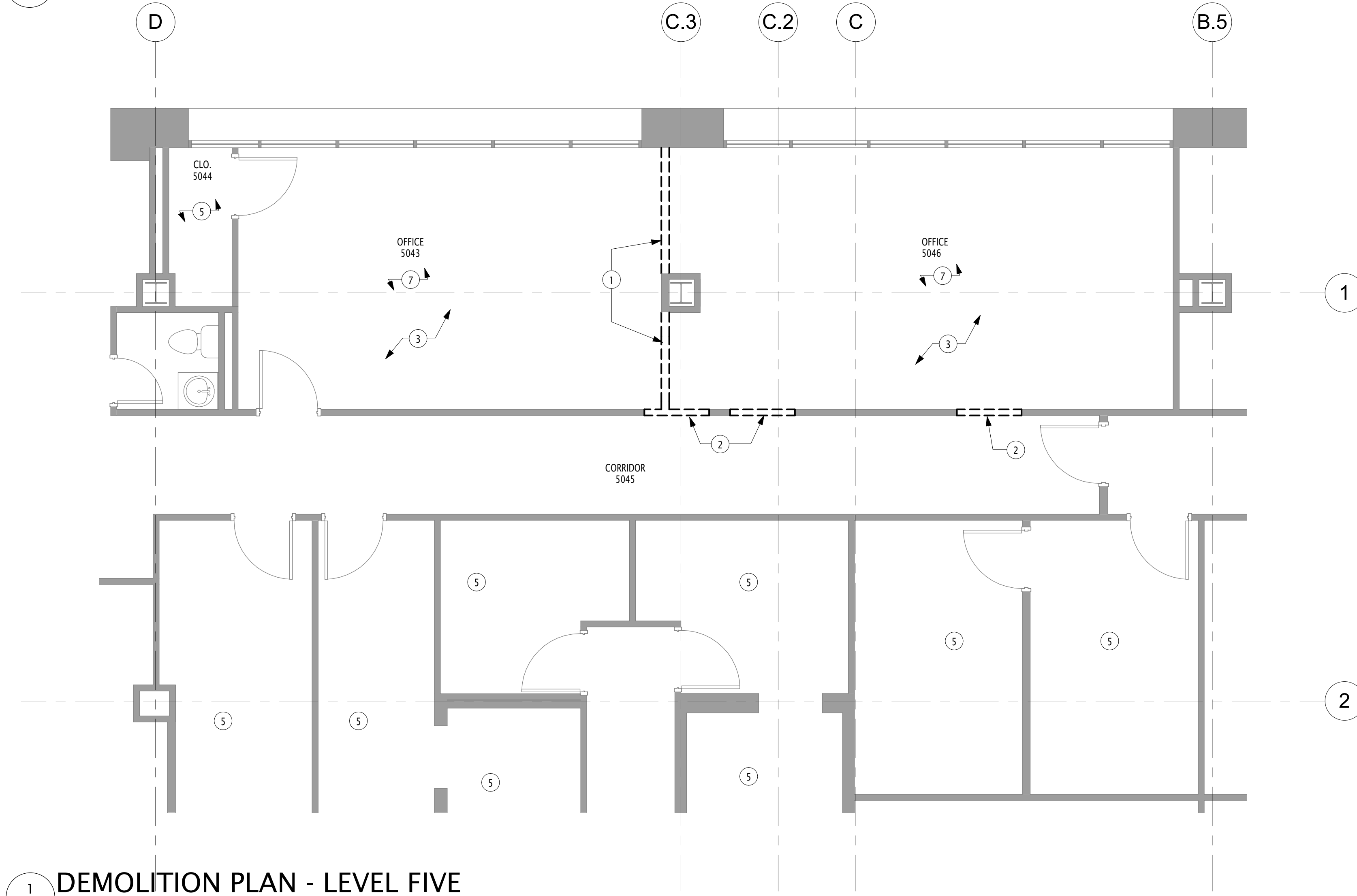

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**CONSTRUCTION DOCUMENTS**



**2** DEMOLITION PLAN - LEVEL SIX  
D100 / 1/4" = 1'-0"



**1** DEMOLITION PLAN - LEVEL FIVE  
D100 / 1/4" = 1'-0"

### DEMOLITION LEGEND

- DOOR AND FRAME TO BE REMOVED
- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- SHADED AREAS NOT IN SCOPE OF WORK

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### GENERAL DEMOLITION NOTES

- A. THE CONTRACTOR SHALL MAINTAIN THE EXISTING STRUCTURAL AND FIREPROOFING INTEGRITY OF THE ENTIRE BUILDING EXCEPT WHERE OTHERWISE NOTED.
- B. UPON DISCOVERY OF HAZARDOUS MATERIALS ENCOUNTERED DURING CONSTRUCTION, NOTIFY THE DESIGNER AND OWNER IMMEDIATELY AND AWAIT FURTHER INSTRUCTIONS.
- C. SEE ENGINEERING DRAWINGS AND SPECIFICATIONS FOR THE REMOVAL OF SPECIFIC MECHANICAL, ELECTRICAL, PLUMBING AND FIRE ALARM SYSTEMS.
- D. REINSTALLED EQUIPMENT AND DEVICES ARE TO BE CLEANED OF ALL FOREIGN MATERIAL. REPLACE EQUIPMENT OR DEVICES WHICH ARE DEFECTIVE OR DAMAGED DURING RELOCATION.
- E. WHEREVER MECHANICAL, ELECTRICAL, AND PLUMBING DEVICES ARE REMOVED, ALL PIPING AND/OR CONDUITS THAT ARE ABANDONED SHALL BE CAPPED OFF OR REMOVED PER MECHANICAL OR ELECTRICAL DIRECTION. MECHANICAL/ELECTRICAL CONTRACTOR TO REMOVE ALL UNUSED WIRING TO PANEL BOXES. PATCH AND REPAIR FINISHES TO MATCH SURROUNDING FINISHES. BLANK COVER PLATES OVER EXISTING BOXES ARE ACCEPTABLE, UNLESS OTHERWISE NOTED.
- F. REMOVE WALL BASE IN AREAS WHERE FLOORING IS BEING REMOVED. WAINSCOT IS EXCEPTION.
- G. FLOORS AND WALLS, WHERE WALLS OR PARTITIONS THAT ARE REMOVED EXTEND ONE FINISHED AREA INTO ANOTHER, PATCH AND REPAIR FLOOR AND WALL SURFACES IN THE NEW SPACE TO PROVIDE AN EVEN FINAL SURFACE OF UNIFORM FINISH, COLOR, TEXTURE, AND APPEARANCE.
- H. TYPICAL DEMOLITION SHALL BE THE REMOVAL OF CONSTRUCTION NOTED INCLUDING INCIDENTAL CONNECTS/ATTACHMENT METHODS AND ITEMS WITHIN OR PART OF THE PORTION BEING DEMOLISHED OR REMOVED.
- I. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR OTHER TRADE DEMOLITION.
- J. DEMOLISHED ITEMS RESULTING IN SURFACE DAMAGE SHALL BE PREPARED FOR NEW SCHEDULED FINISHES OR FINISHES TO MATCH EXISTING.
- K. DEMO ALL CEILINGS AS REQUIRED FOR NEW WORK. REFERENCE CEILING PLANS.
- L. EMPLOY DUST CONTROL MEASURES REQUIRED TO SOLATE AREA OF CONSTRUCTION FROM OTHER OCCUPIED AREAS INCLUDING HVAC COMPONENTS WITHIN THE CONSTRUCTION AREAS. PROVIDE AIR FILTERING IF REQUIRED FOR PROTECTION FROM DUST MIGRATION.
- M. REMOVE ALL CEILING FANS.
- N. DEMOLISHED ITEMS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY, UNLESS NOTED OTHERWISE. ALL REMOVED DOORS SHALL BE REUSED IF POSSIBLE.
- O. CONTRACTOR SHALL PROVIDE FOR TEMPORARY STRUCTURE BETWEEN NEW CONSTRUCTION AND AREAS OF OCCUPIED AND FUNCTIONAL SPACES. TEMPORARY BARRIERS SHALL BE OPAQUE AND SOLID IN MATERIALS AND BE FINISHED APPROPRIATE FOR THE ADJACENT SPACES WHERE CONSTRUCTED.
- P. DEMOLISHED ITEMS RESULTING IN SURFACE DAMAGE SHALL BE PREPARED FOR NEW SCHEDULED FINISHES.
- Q. AT CONTRACTOR'S OPTION, WORK INVOLVING THE INSTALLATIONS OF FIRE SUPPRESSION SYSTEM MAY REQUIRE MINOR OR MAJOR REWORK OF CEILING SYSTEMS INCLUDING ACOUSTICAL GRID AND PANELS AS WELL AS HARD GYPSUM BOARD CEILINGS. SCOPE OF SPRINKLER SYSTEM WORK SHALL DETERMINE EFFECT ON EXISTING CEILINGS AND REQUIRED MODIFICATIONS FOR PROPER COVERAGE.
- R. NEW FINISHES SHALL MATCH EXISTING SURFACES AS NEAR AS POSSIBLE. PROVIDE FOR THE PATCHING OF WALLS WHERE PORTIONS OF WALLS HAVE BEEN REMOVED TO OBTAIN AS NEAR AS POSSIBLE SAME FINISH AND APPEARANCE AS SURROUNDING SURFACES.
- S. TOILET ROOMS: REMOVE ALL ACCESSORIES UPON DEMOLITION OF THE TOILET ROOM.
- T. ALL REMOVED EQUIPMENT AND FURNITURE SHALL BE COORDINATED WITH THE BUILDING MANAGER TO VERIFY IF THE MATERIAL WILL NEED TO BE KEPT AS ATTIC STOCK OR BE SALVAGED AND/OR DISCARDED BY THE CONTRACTOR.
- U. CONTRACTOR SHALL SALVAGE ALL REMOVED FULL SIZE CARPET SQUARES AND SET ASIDE FOR OWNER'S PICK UP AND STORAGE.

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### DEMOLITION PLAN NOTES BY NUMBER

1. REMOVE EXISTING WALL, FULL HEIGHT, INCLUDING ALL ATTACHMENTS EMBEDDED IN WALL.
2. REMOVE PORTION OF EXISTING WALL AS INDICATED, FOR NEW CONSTRUCTION.
3. REMOVE ALL FLOORING AND BASE MATERIAL THIS ROOM.
4. REMOVE EXISTING DOOR AND FRAME.
5. NO WORK THIS ROOM.
6. REMOVE EXISTING PLUMBING FIXTURES PER MECHANICAL/PLUMBING.
7. REMOVE EXISTING CEILING INCLUDING ALL ATTACHMENTS IN THIS ROOM.
8. CAREFULLY CUT AND REMOVE PORTIONS OF EXISTING WAINSCOT PANELING IN AREAS OF NEW CONSTRUCTION. ALL EXISTING PANELING SHALL BE SALVAGED FOR MATCHING AND REUSE.

**CONSTRUCTION DOCUMENTS**

**TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT**

401 W Belknap St, Fort Worth, TX 76196

**TARRANT COUNTY FACILITIES MANAGEMENT**

100 W. WEATHERFORD ST, FORT WORTH, TX 76196

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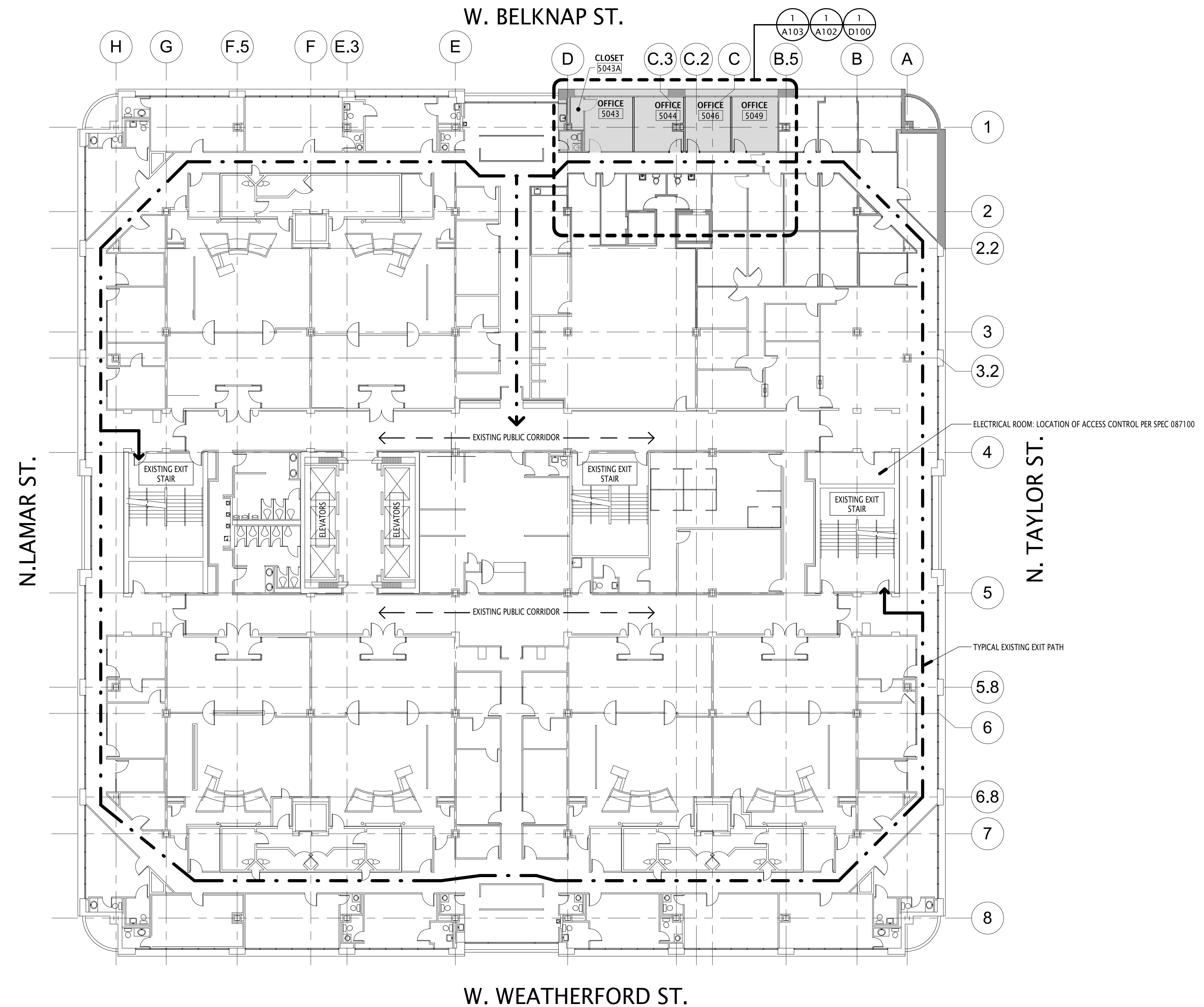
**5TH AND 6TH FLOOR DEMOLITION**

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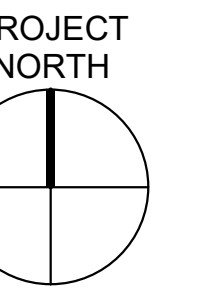



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**OVERALL 5TH FLOOR PLAN**

**1**  
A100 OVERALL PLAN - LEVEL FIVE  
1/16" = 1'-0"

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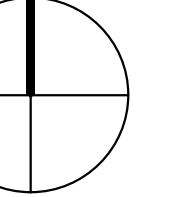



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PROJECT  
NORTH



**CONSTRUCTION  
DOCUMENTS**

**TARRANT  
COUNTY 485TH  
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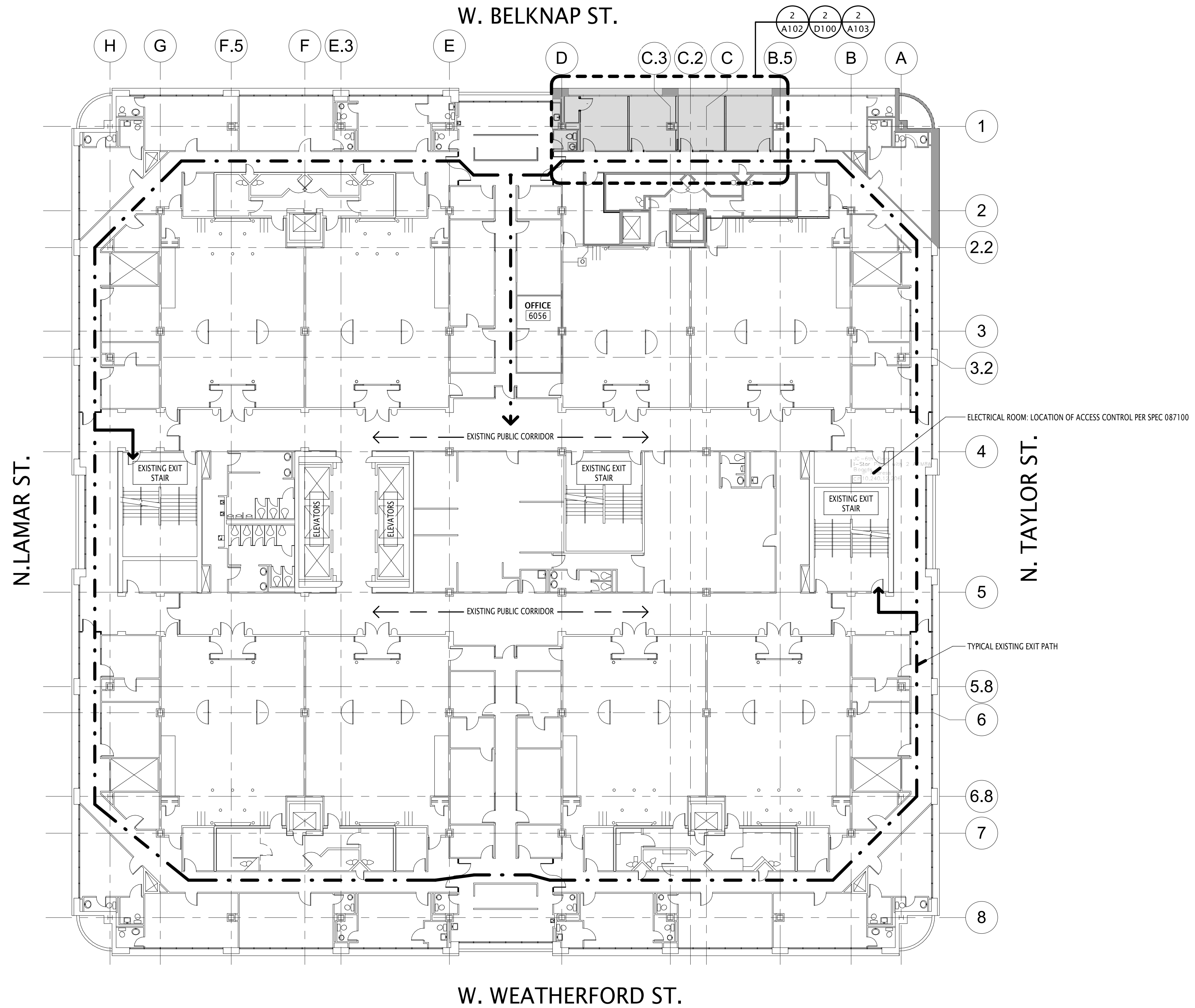
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**OVERALL 6TH FLOOR PLAN**

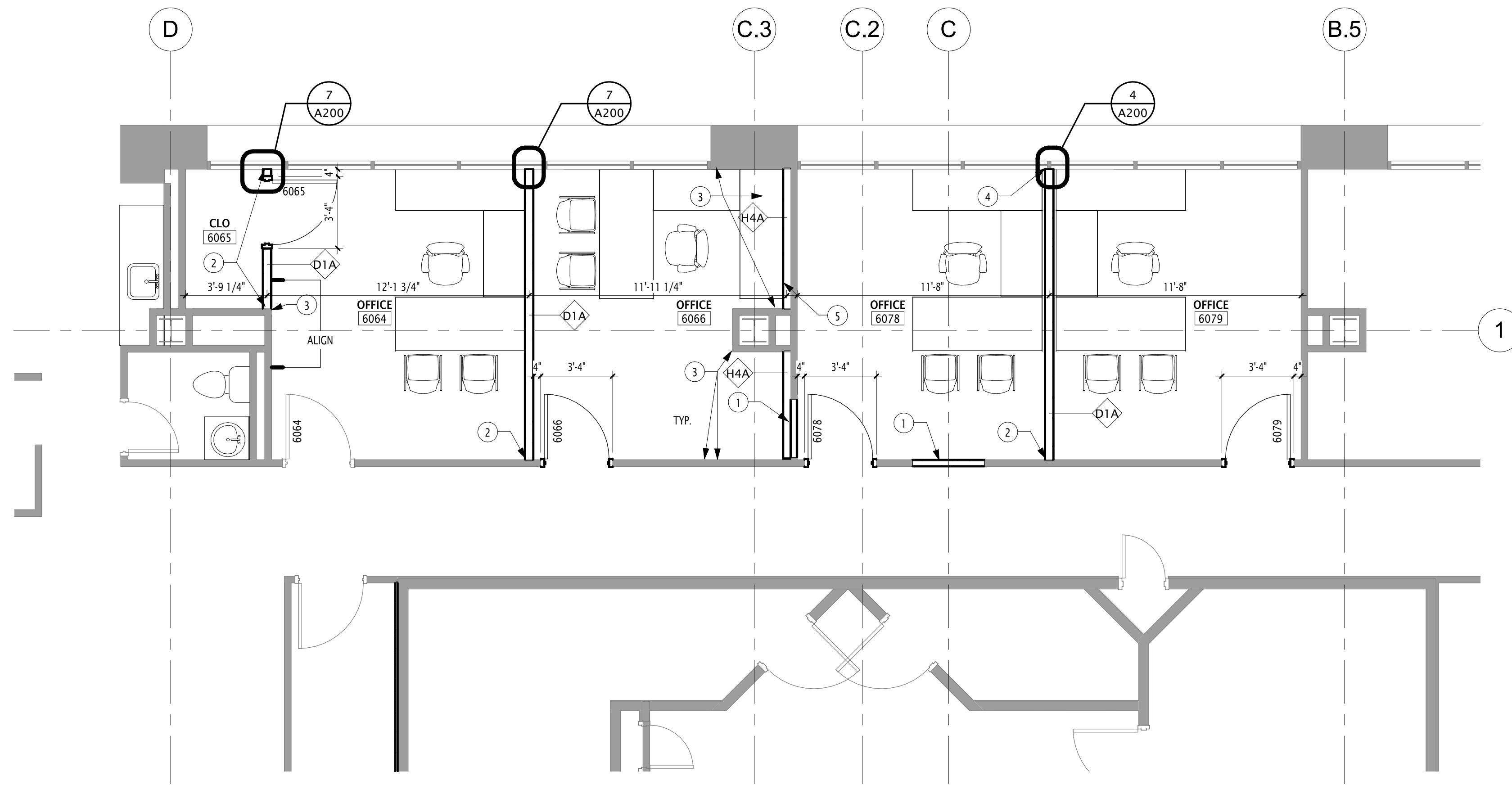


**1** OVERALL PLAN - LEVEL SIX  
A101 1/16" = 1'-0"

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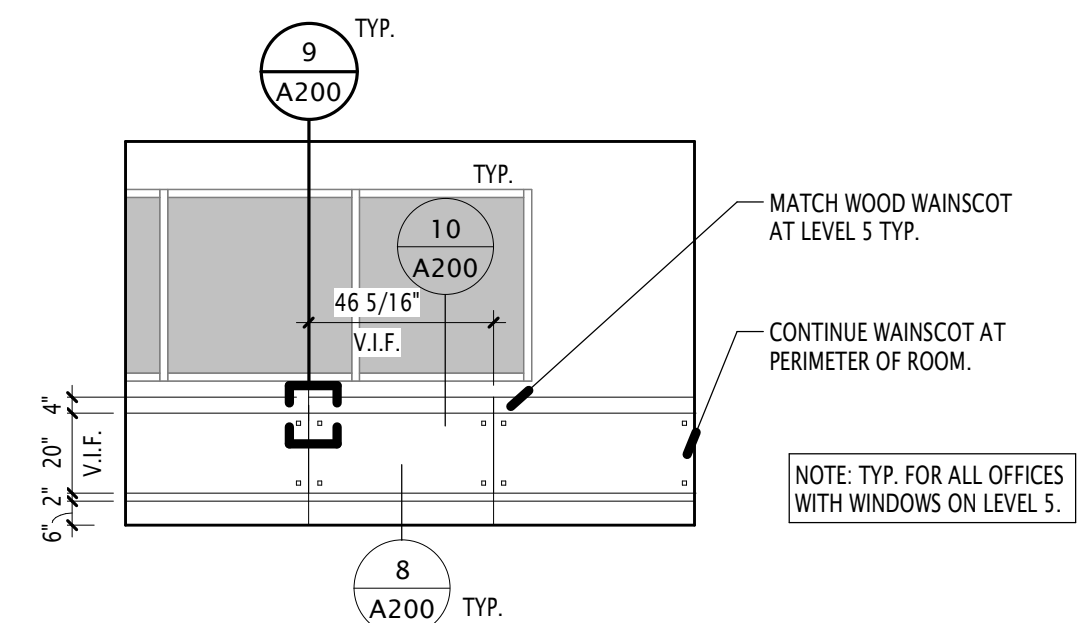
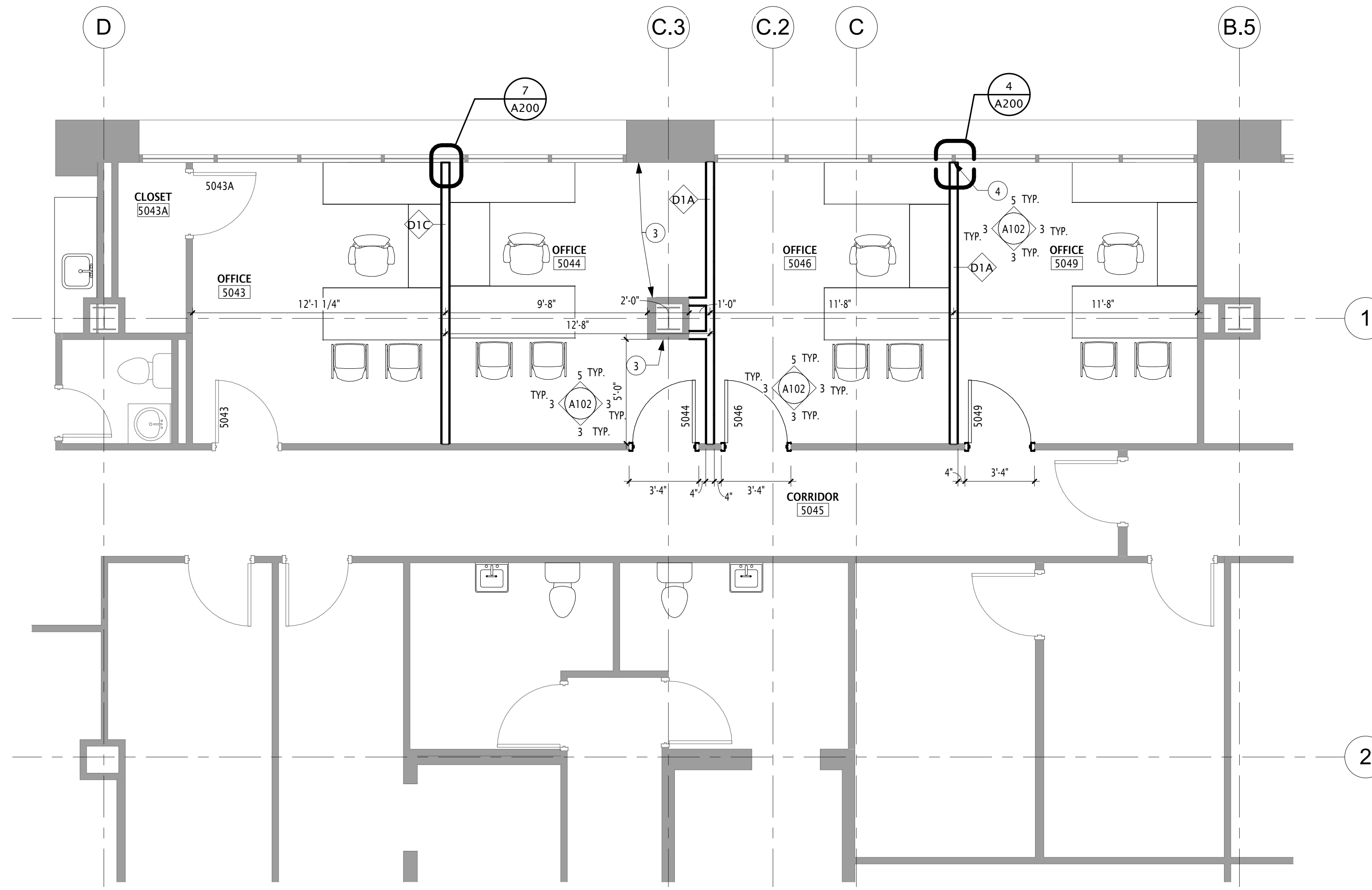



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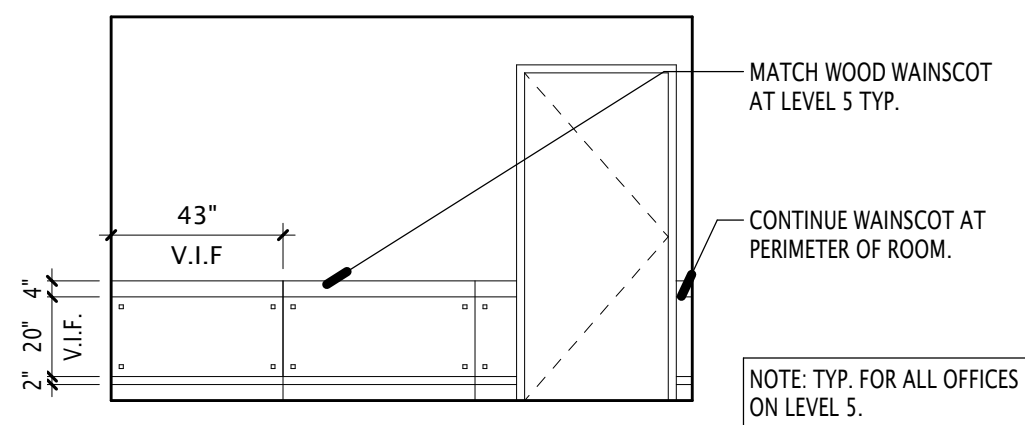


- GENERAL PLAN NOTES**
- A. NEW FINISHES SHALL MATCH EXISTING FINISHES WHERE PLACED IN THE SAME SPACES.
  - B. NEW FINISHES SCHEDULED, SHALL INCLUDE THE PREPARATION OF THE EXISTING SUBSTRATE TO RESULT IN CONSISTENT AND MATCHING FINISH OF THE EXISTING SURFACES.
  - C. PROVIDE SEALANTS AT ALL DISSIMILAR MATERIALS.
  - D. PREPARE CONCRETE FLOORS WHERE ANCHORS ARE REMOVED OR OTHER DEMOLITION AFFECTING FLOORING INSTALLATIONS.
  - E. PROVIDE LEVEL FLOORING SURFACE IN AREAS WHERE FLOOR DRAINS ARE REMOVED. INFILL ARDEX AND FLOAT SMOOTH FOR PROPER SUBSTRATE OF FINISH MATERIALS, TYPICAL.
- GENERAL NOTES BY SYMBOL**
- 1. PATCH WALL FROM REMOVAL OF DOOR.
  - 2. SEAMLESS TRANSITION BETWEEN NEW AND OLD WALL.
  - 3. PATCH AND REPAIR EXISTING WALL SURFACE AND CEILING SURFACE AT REMOVED WALL.
  - 4. ALIGN CENTERLINE OF WALL WITH CENTERLINE OF MULLION.
  - 5. POSITION NEW WALL TIGHT AGAINST EXISTING WALL TO ACCOUNT FOR NEW VERTICAL PLUMBING. CONTRACTOR TO VERIFY NEW PIPING HAS MINIMAL IMPACT FOR NEW WALL PROJECTION INTO OFFICE SPACE.

**2** LEVEL SIX ENLARGED PLAN AREA A  
A102 1/4" = 1'-0"



**5** WOOD PANEL AT WINDOW TYP.  
A102 1/4" = 1'-0"



**3** WOOD PANEL AT DOOR TYP.  
A102 1/4" = 1'-0"

**1** LEVEL FIVE ENLARGED PLAN AREA A  
A102 1/4" = 1'-0"

**CONSTRUCTION DOCUMENTS**



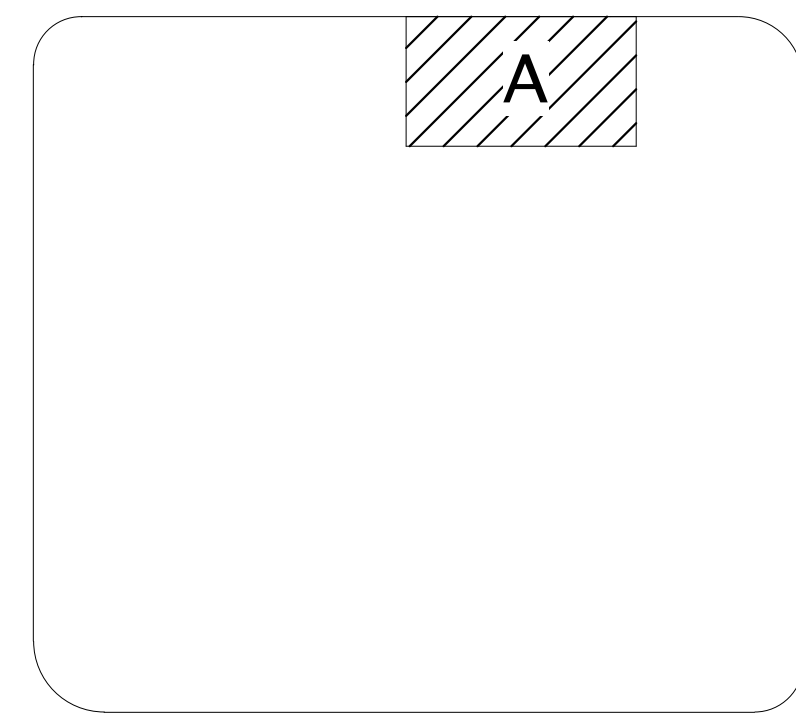
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**ENLARGED 5TH AND 6TH FLOOR PLANS**



**KEYPLAN**

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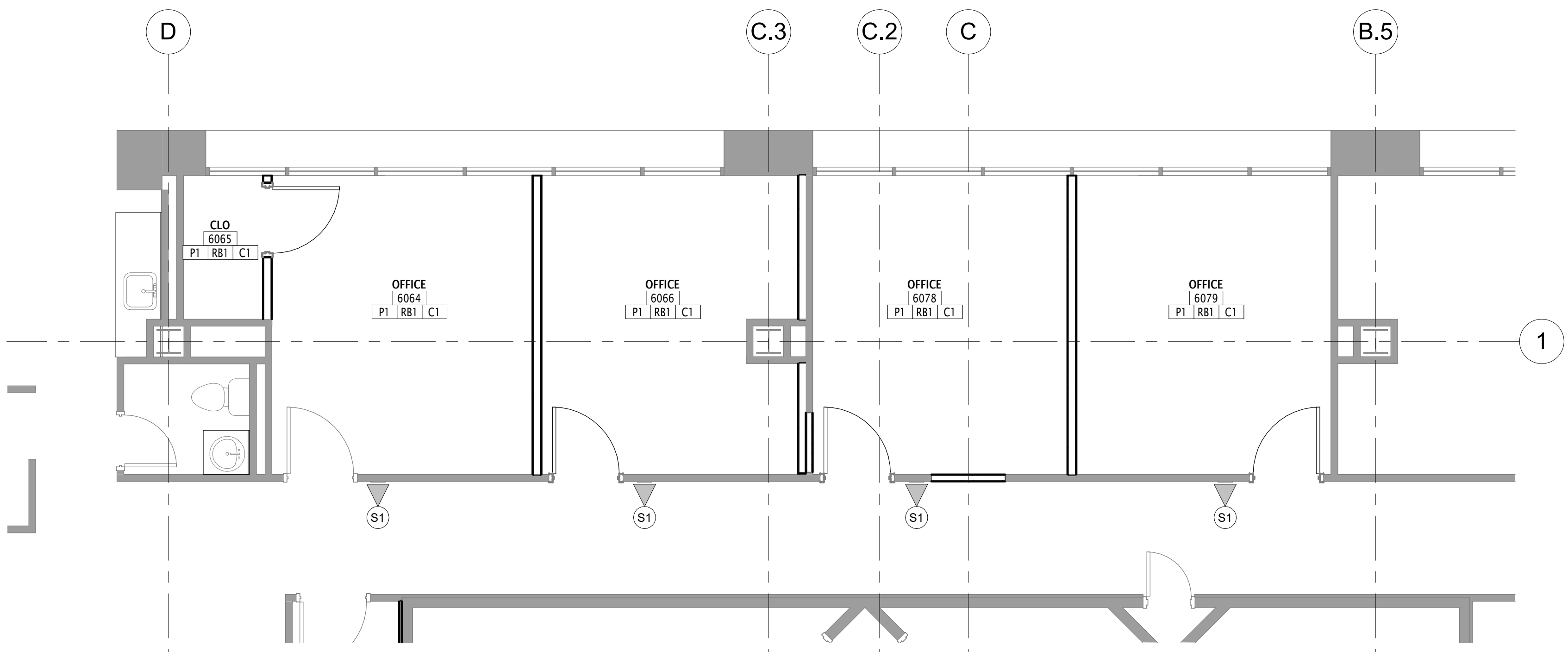



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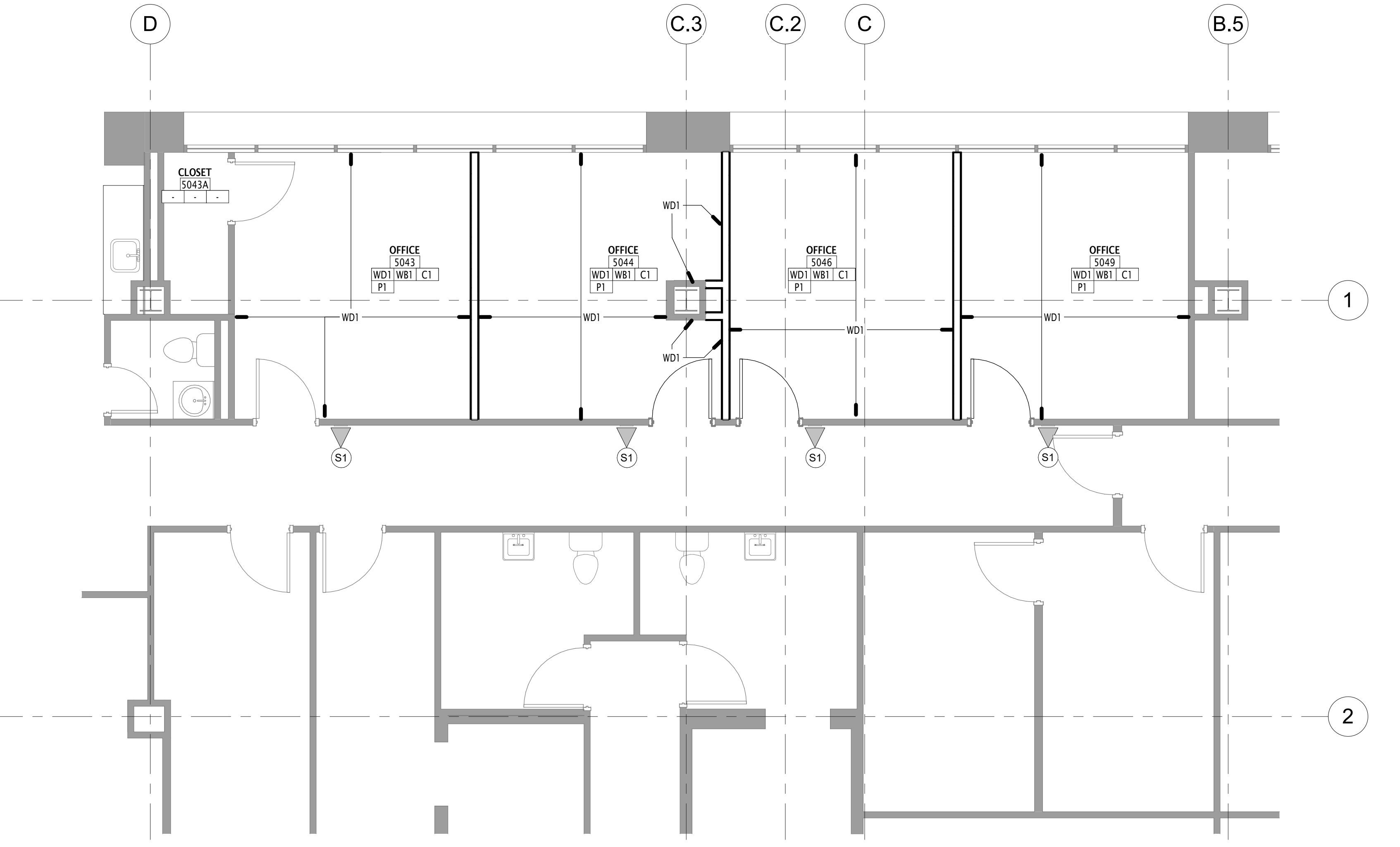
UNLESS OTHERWISE SPECIFIED, ALL FINISHES, MATERIALS, AND METHODS SHALL BE AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SIGNAGE SCHEDULE										
DOOR # / ROOM #	ROOM NAME	COPY TEXT	BRILLE TEXT	SIGN TYPE	HEIGHT	WIDTH	MOUNTING HEIGHT	MOUNTING	ADDITIONAL NOTES	
5043	MAGISTRATE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
5044	OFFICE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
5046	OFFICE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
5049	OFFICE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
6064	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		
6066	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		
6078	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		
6079	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		

SCHEDULED FINISHES						
DESCRIPTION	MANUFACTURER	PRODUCT NAME / NUMBER	COLOR/ FINISH	SIZE	COMMENTS	
<b>WALL</b>						
P1 GENERAL PAINT	-	-	MATCH EXISTING COLOR	n/a		
<b>BASE</b>						
RB1 RUBBER BASE	-	-	MATCH EXISTING COLOR	-		
WB1 WOOD BASE	-	-	MATCH EXISTING	-	SEE DETAIL: A200/8	
<b>FLOOR</b>						
C1 CARPET	SHAW	PETO II	BRONZE 71205	24"X24"	RUNNING BOND	
<b>MILLWORK</b>						
WD1 WOOD WAINSCOTT PANELS	-	-	MATCH EXISTING	-	SEE DETAILS: A200/8,9, AND 10	
<b>DOOR</b>						
PL3 PLASTIC LAMINATE	FORMICA	#463-MC	SAIL WHITE	n/a	FINISH FOR DOORS	

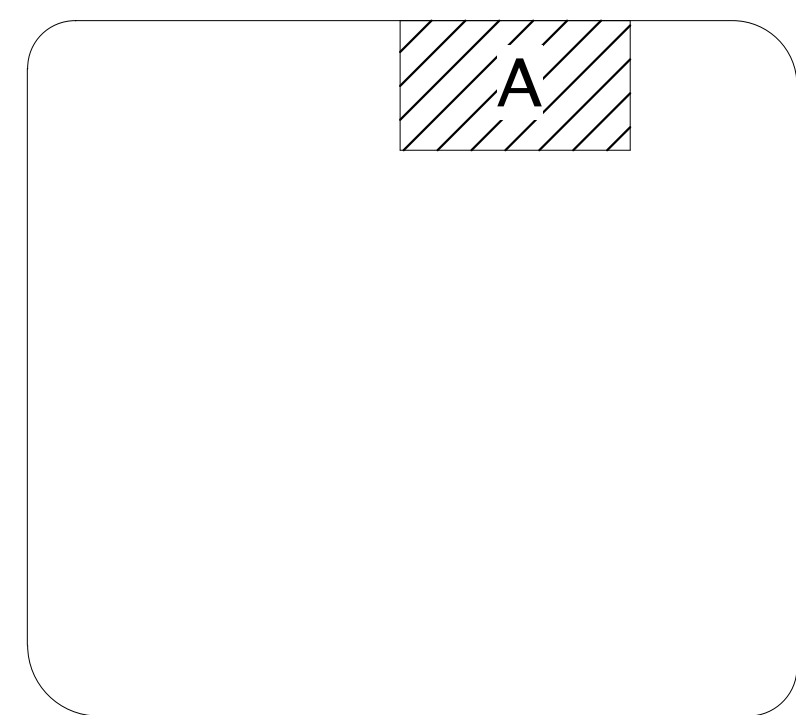


2  
A103 1/4" = 1'-0"  
ENLARGED FINISH AND SIGNAGE PLAN - LEVEL SIX AREA A



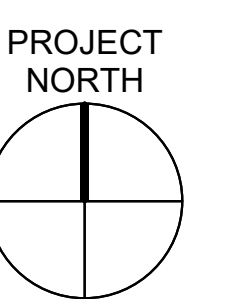
1  
A103 1/4" = 1'-0"  
ENLARGED FINISH AND SIGNAGE PLAN - LEVEL FIVE AREA A

FINISH KEY	
WALLS	P PAINTED GYP. BOARD
BASE	RB 4" RUBBER BASE
	WB WOOD BASE
FLOOR	C CARPET TILE
MISC.	PL PLASTIC LAMINATE
	WD WOOD PANEL
NOTES:	
1. STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE CORNERS, UP TO CHAIR RAIL HEIGHT. 2" FLANGE TYPICAL.	



KEYPLAN

CONSTRUCTION DOCUMENTS



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ISSUED DATE:

ENLARGED 5TH AND 6TH FLOOR FINISH AND SIGNAGE PLANS

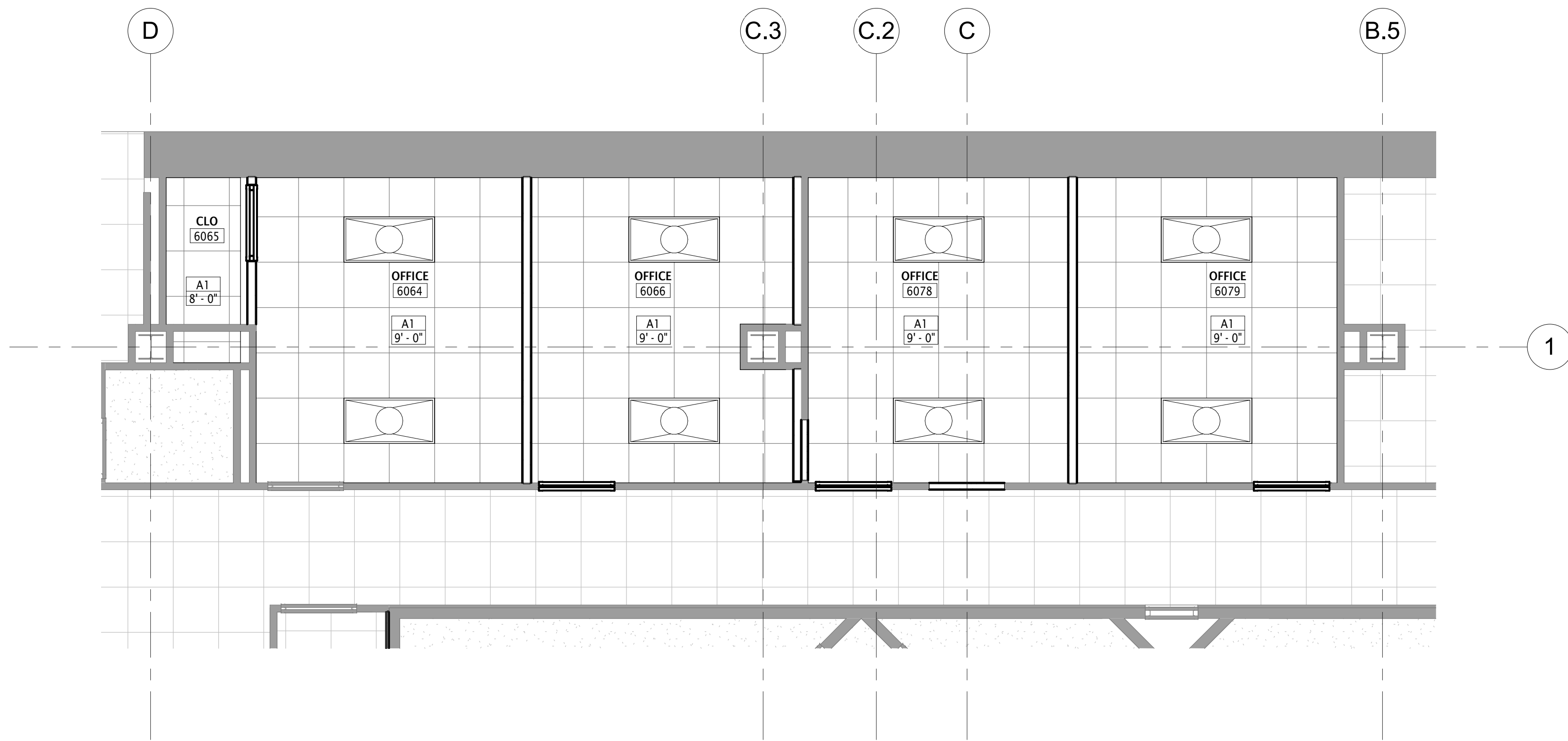


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11/15/2022  
SIGNATURE DATE

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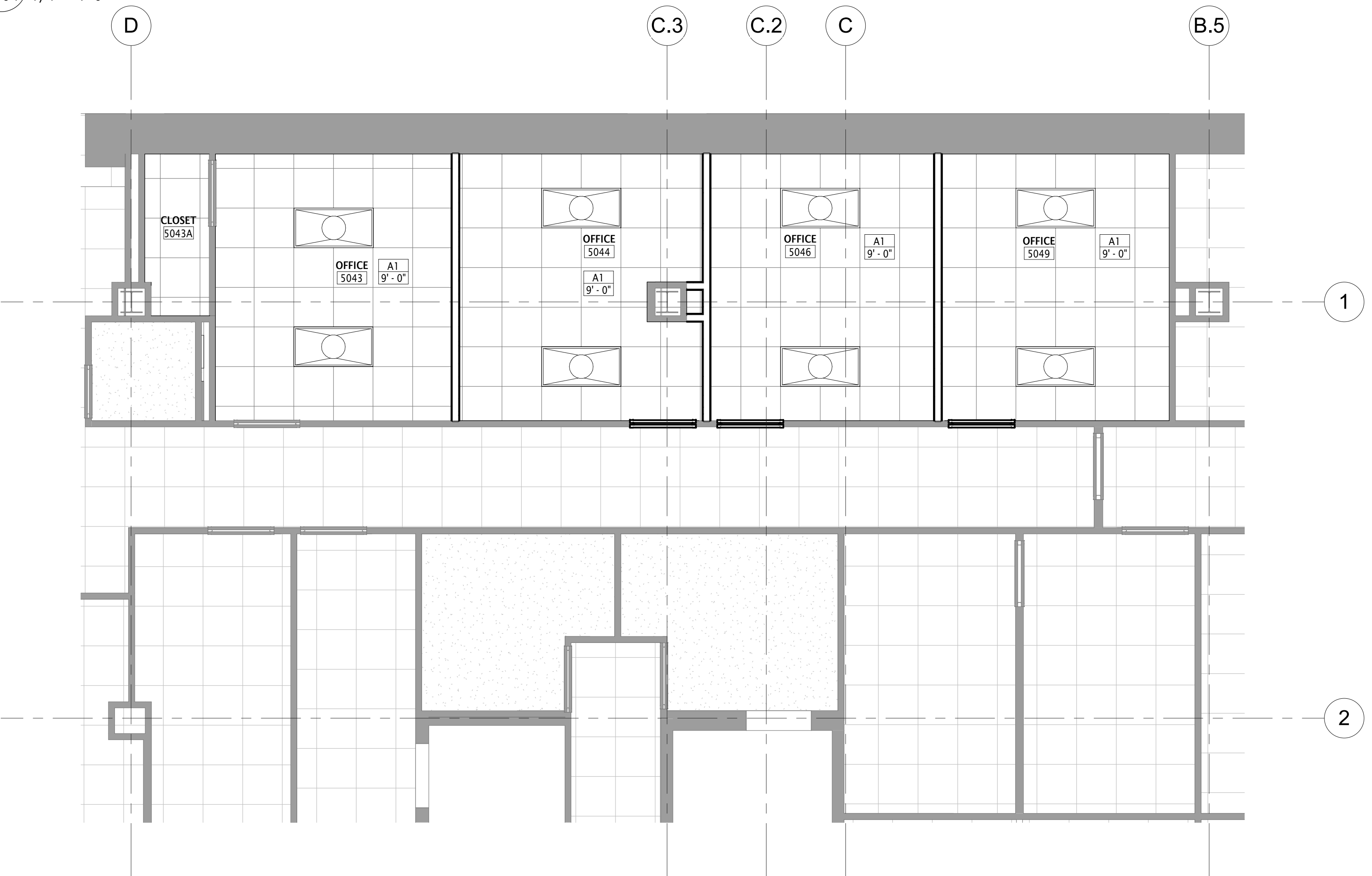


RCP LEGEND	
100	ROOM #
A	CEILING TYPE
9'-0"	ELEVATION - FROM FINISH FLOOR
[Symbol]	2X2 LAY-IN LIGHT FIXTURE
[Symbol]	2X4 LAY-IN LIGHT FIXTURE
[Symbol]	SUSPENDED OR SURFACE MOUNTED LINEAR LIGHT
[Symbol]	RECESSED LIGHT FIXTURE
[Symbol]	MECHANICAL DIFFUSER - SUPPLY
[Symbol]	MECHANICAL DIFFUSER - RETURN

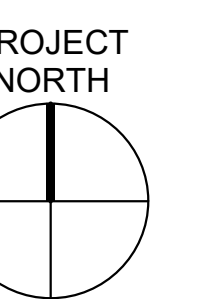
CEILING NOTES	
1.	MECHANICAL AND ELECTRICAL DATA SHOWN FOR REFERENCE ONLY. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. ANY CONFLICTS SHOULD BE ADDRESSED WITH ARCHITECT AS SOON AS POSSIBLE.
2.	FOR ANY CEILING MISSING A CEILING TAG, PROVIDE CEILING TYPE A1.
3.	PROVIDE BLOCKING IN WALLS & CEILINGS AS REQUIRED FOR INSTALLATION OF MECH., PLUMB. & ELEC. EQUIP. AND SPECIALTIES
4.	CONTRACTOR SHALL PROVIDE ALL NEW TILE WHERE "A1" IS SCHEDULED.

2 REFLECTED CEILING PLAN - LEVEL SIX AREA A  
A104 1/4" = 1'-0"



1 REFLECTED CEILING PLAN - LEVEL FIVE AREA A  
A104 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS



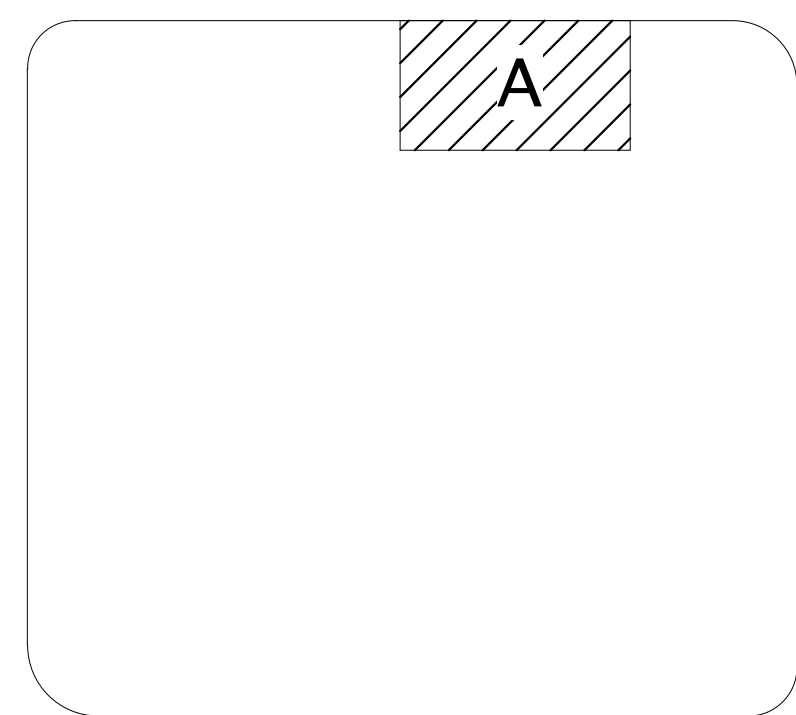
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TARRANT COUNTY FACILITIES MANAGEMENT

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GSBS PROJECT NO.: 11/15/2022  
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5TH AND 6TH REFLECTED CEILING PLANS



KEYPLAN

REVISIONS:

NO.	DATE	DESCRIPTION



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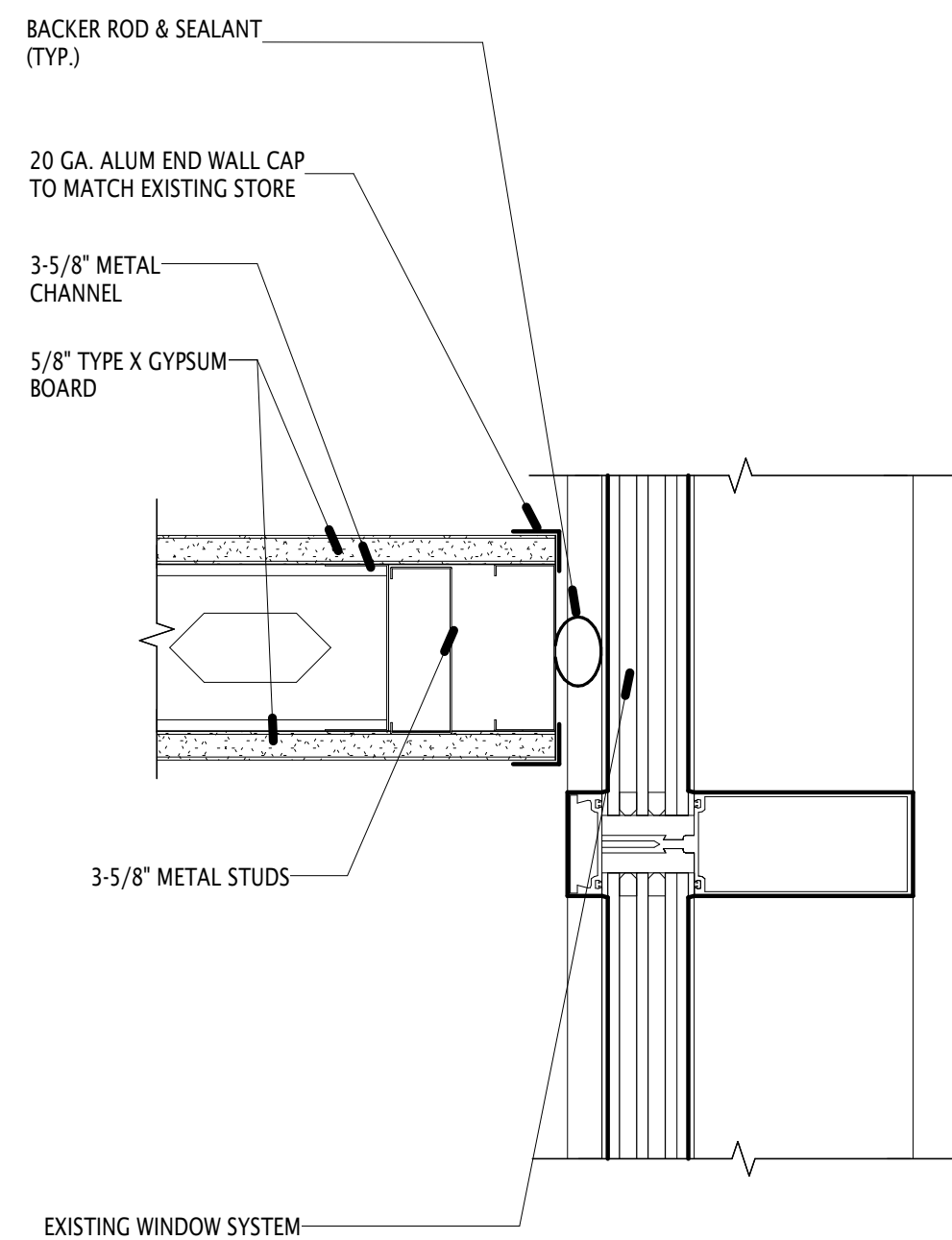
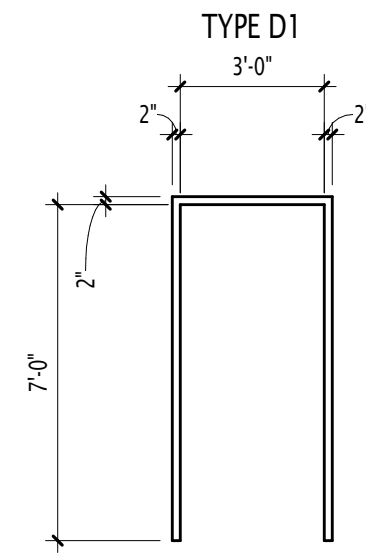
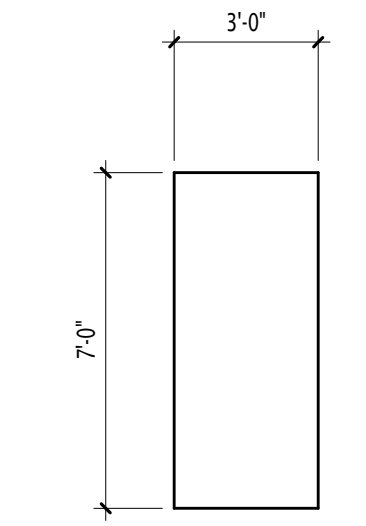
OWNER PROJECT NO.: 2017.108.09  
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**INTERIOR DETAILS AND DOOR SCHEDULE**

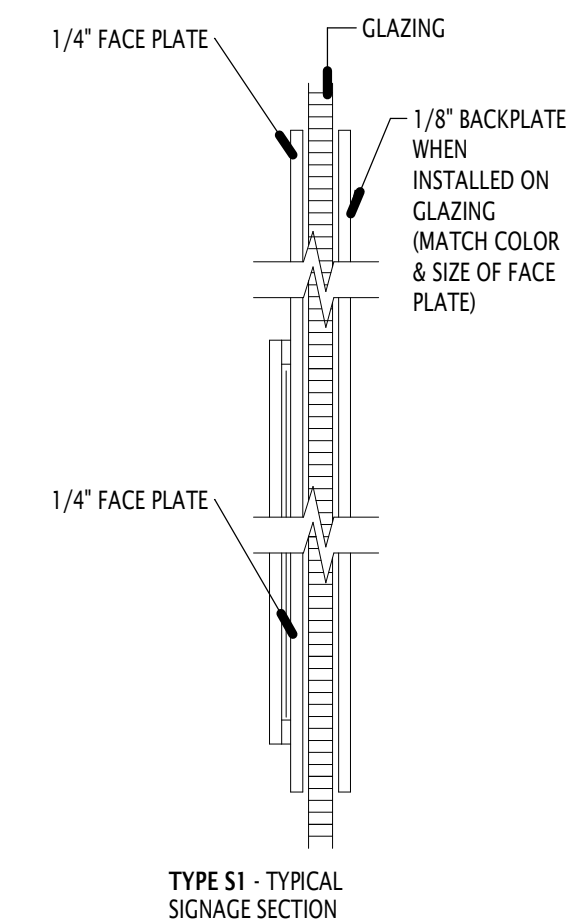
DOOR NUMBER		DOOR						FRAME		DETAILS			OPENING RATING	POWERED	REMARKS	DOOR NUMBER	
		PANELS	WIDTH	HEIGHT	TYPE	MATERIAL/ FINISH	HARDWARE	HEAD HEIGHT	TYPE	MATERIAL/ FINISH	DOOR HEAD	DOOR JAMB					DOOR THRESHOLD
5043	EXISTING	SNGL	3'-0"	7'-0"	D1	WD / PL	HD3	2"	F1						1,3		5043
5043A	EXISTING	SNGL	3'-0"	7'-0"	D1	WD / PL	HD2	2"	F1						1,3		5043A
5044		SNGL	3'-0"	7'-0"	D1	WD / PL	HD1	2"	F1	16 GA HM / PNT	3/A200	2/A200	1/A100				5044
5046		SNGL	3'-0"	7'-0"	D1	WD / PL	HD1	2"	F1	16 GA HM / PNT	3/A200	2/A200	1/A100				5046
5049		SNGL	3'-0"	7'-0"	D1	WD / PL	HD1	2"	F1	16 GA HM / PNT	3/A200	2/A200	1/A100				5049
6064	EXISTING	SNGL	3'-0"	7'-0"	D1	WD / PL	HD3	2"	F1						1,3		6064
6065		SNGL	3'-0"	7'-0"	D1	WD / PL	HD2	2"	F1	16 GA HM / PNT	3/A200	2/A200	1/A100		1,2		6065
6066		SNGL	3'-0"	7'-0"	D1	WD / PL	HD1	2"	F1	16 GA HM / PNT	3/A200	2/A200	1/A100		1,2		6066
6078		SNGL	3'-0"	7'-0"	D1	WD / PL	HD1	2"	F1	16 GA HM / PNT	3/A200	2/A200	1/A100				6078
6079		SNGL	3'-0"	7'-0"	D1	WD / PL	HD1	2"	F1	16 GA HM / PNT	3/A200	2/A200	1/A100				6079

REMARKS:  
1. REPAINT FRAME  
2. RELOCATED DOOR AND FRAME  
3. EXISTING DOOR REMAINS IN PLACE

**DOOR NUMBER** REFERS TO REFERENCE DOOR MARK ON FLOOR PLANS  
**PANEL** INDICATES THE TYPE OF DOOR PANELS)  
SNGL-SINGLE PANEL SEC - SECTIONAL DOOR  
PR - PAIR OF DOORS IN ONE FRAME OC -OVERHEAD COILING DOOR  
**WIDTH** INDICATES THE FINISHED DOOR PANEL WIDTH  
**HEIGHT** INDICATES THE FINISHED DOOR PANEL HEIGHT  
**THICKNESS** INDICATES FINISHED PANEL THICKNESS  
**TYPE** INDICATES DOOR PANEL TYPE. SEE DOOR PANEL ELEVATIONS  
**MATERIAL/ FINISH** INDICATES DOOR PANEL MATERIAL & FINISH  
HM - HOLLOW METAL PNT - PAINT  
WD - SOLID CORE WOOD STN - STAIN (FACTORY)  
ALUM - ALUMINUM CLR - ANODIZED  
STL - STEEL BY MFR - BY MANUFACTURER  
**HARDWARE** INDICATES DOOR HARDWARE SET. REFER TO SPECIFICATIONS  
**HEAD HEIGHT** INDICATES HEIGHT OF FRAME HEAD  
**TYPE** INDICATES DOOR PANEL TYPE. SEE DOOR FRAME ELEVATIONS  
**MATERIAL/ FINISH** INDICATES FRAME MATERIAL & FINISH  
HM - HOLLOW METAL PNT - PAINT  
ALUM - ALUMINUM CLR - ANODIZED  
STL - STEEL BY MFR - BY MANUFACTURER  
**OPENING RATING** INDICATES REQUIRED FIRE RATING FOR DOOR IN MINUTES  
**POWERED** SYMBOL INDICATES DOOR REQUIRES POWER. REFER TO SPECIFICATIONS  
**REMARKS** ANY SPECIAL CONDITIONS REQUIRED

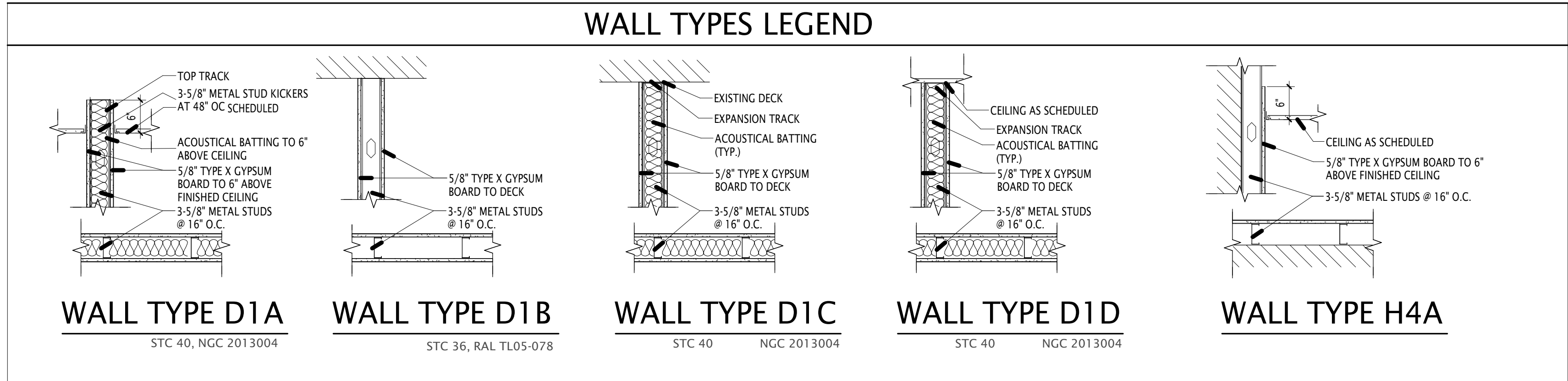


**7 WALL JAMB DETAIL 2**  
3" = 1'-0"



TYPICAL SIGNAGE NOTES:  
1. FONTS SHOWN ARE 100% WIDTH OPTIMA, REGULAR, UNLESS OTHERWISE NOTED.  
2. REFER TO SCHEDULE SHEET A-194 FOR MOUNTING HEIGHT AND PLACEMENT.  
3. SIGNAGE COLORS:  
A) COLOR A = WHITE  
B) COLOR B = RED  
C) COLOR C = TBD  
D) COLOR D = TBD  
E) COLOR E = TBD

**5 SIGNAGE DETAILS**  
3" = 1'-0"



**WALL TYPE D1A**  
STC 40, NCC 2013004

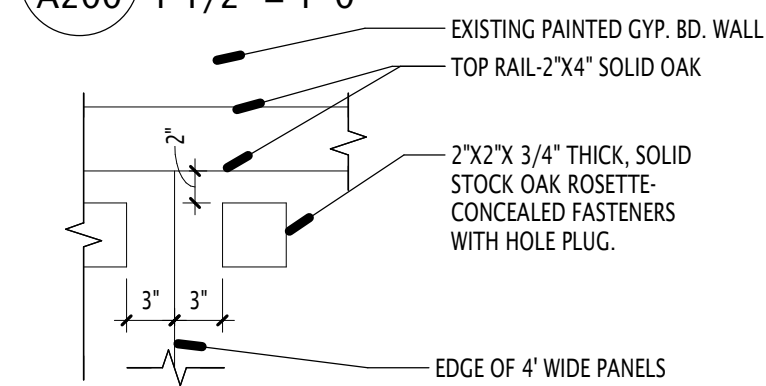
**WALL TYPE D1B**  
STC 36, RAL TL05-078

**WALL TYPE D1C**  
STC 40 NCC 2013004

**WALL TYPE D1D**  
STC 40 NCC 2013004

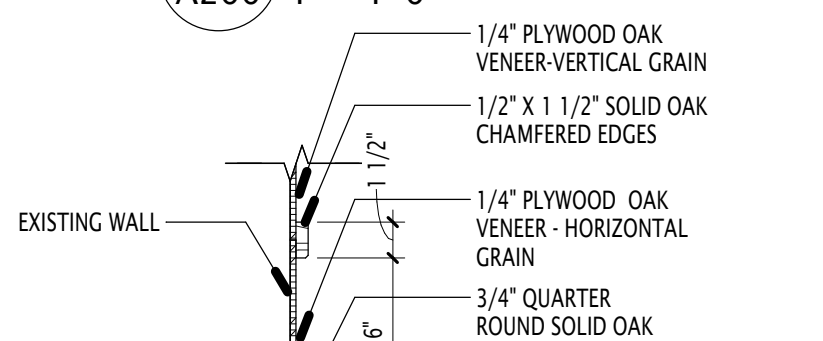
**WALL TYPE H4A**

**10 WOOD WAINSCOTT TOP**  
1 1/2" = 1'-0"



NOTE: CONTRACTOR TO VERIFY ALL WOOD SIZES AND WOOD SPECIES. CONTRACTOR TO MATCH WOOD STAINS WITH ORIGINAL.

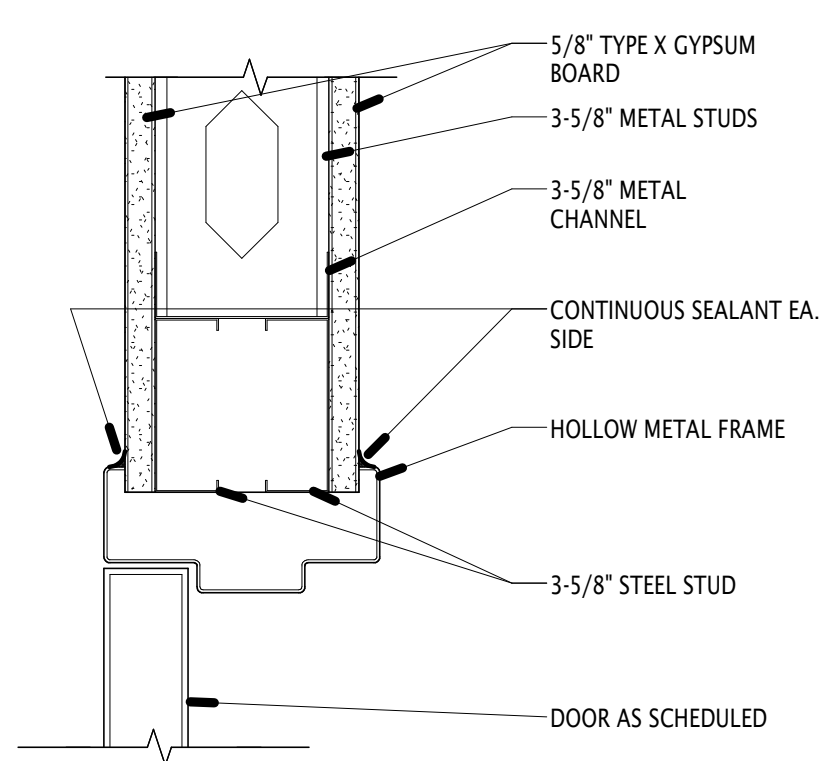
**9 WOOD WAINSCOTT ROSETTE**  
1" = 1'-0"



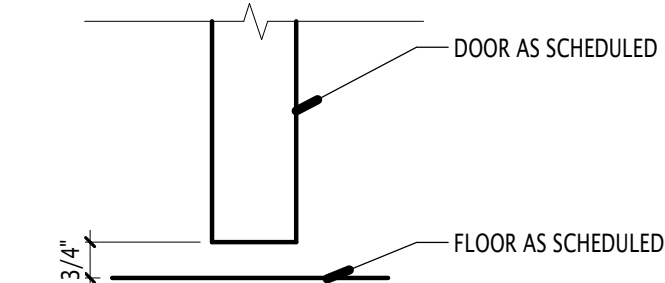
NOTE: CONTRACTOR TO VERIFY ALL WOOD SIZES AND WOOD SPECIES. CONTRACTOR TO MATCH WOOD STAINS WITH ORIGINAL.

**8 WOOD WAINSCOTT BOTTOM**  
1 1/2" = 1'-0"

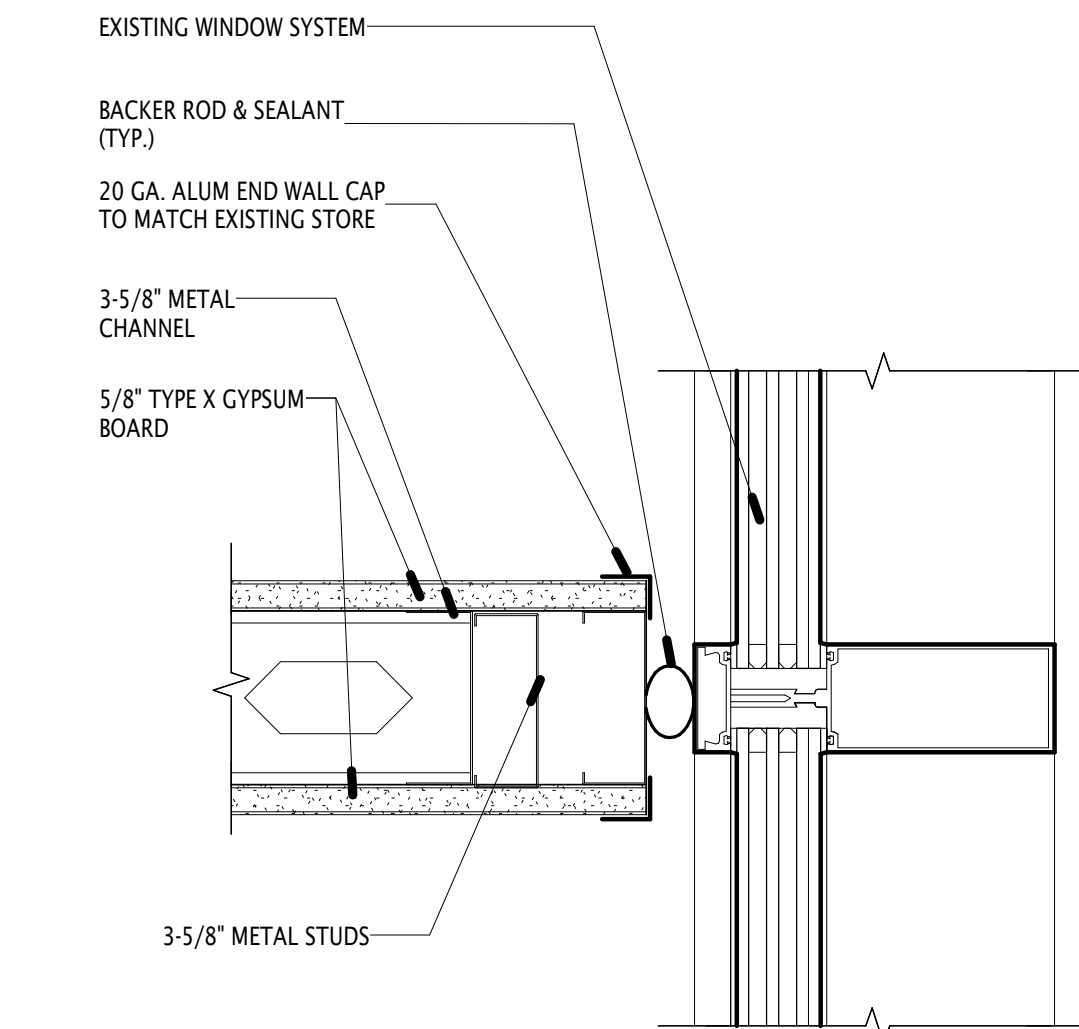
**2 HM DOOR HEAD DETAIL**  
3" = 1'-0"



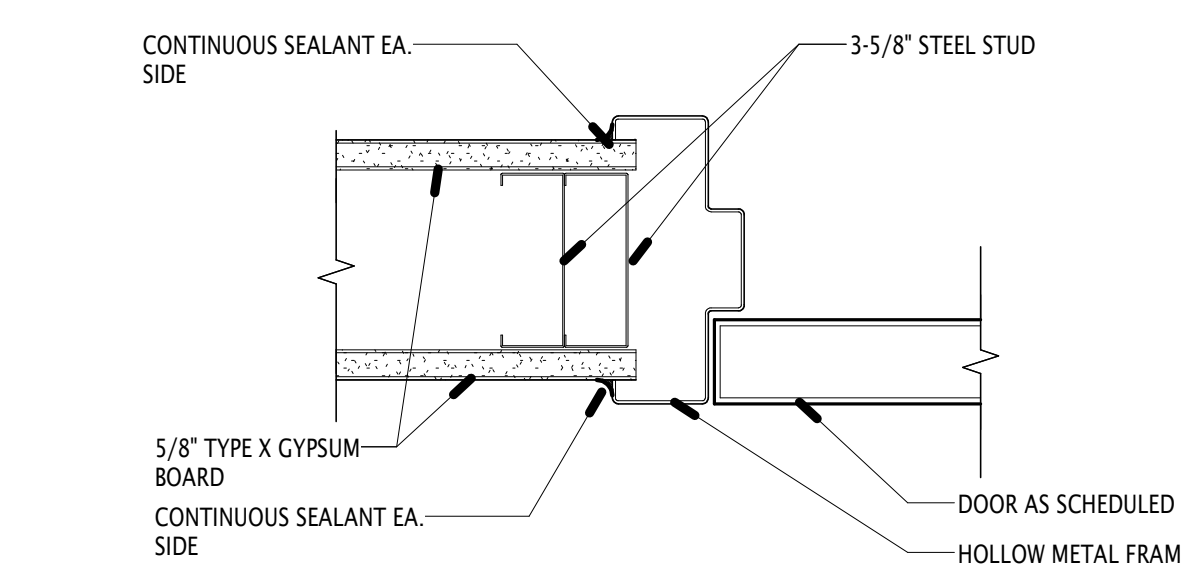
**1 DOOR DETAIL**  
3" = 1'-0"



**4 WALL JAMB DETAIL**  
3" = 1'-0"



**3 HM DOOR JAMB DETAIL**  
3" = 1'-0"

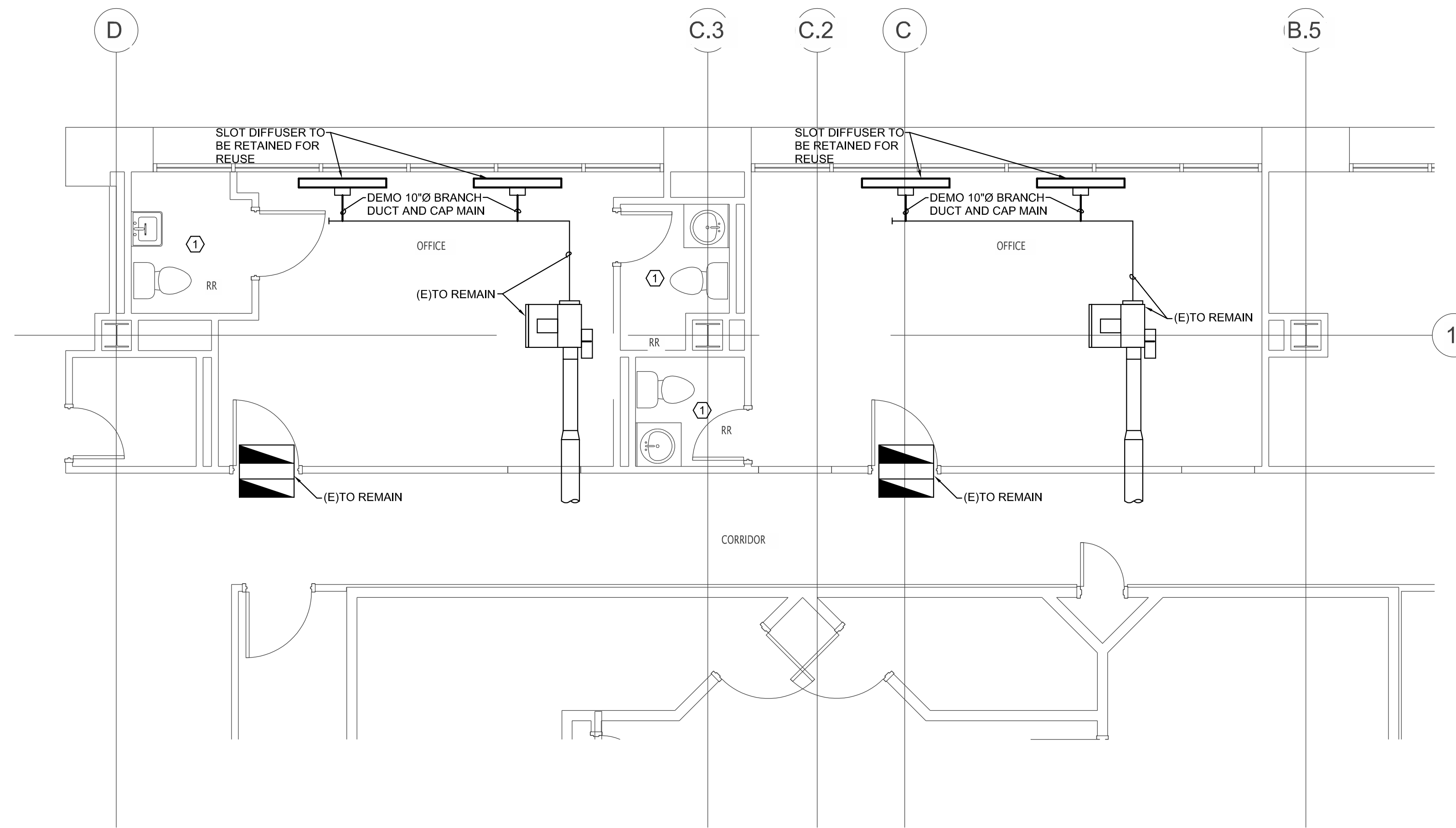




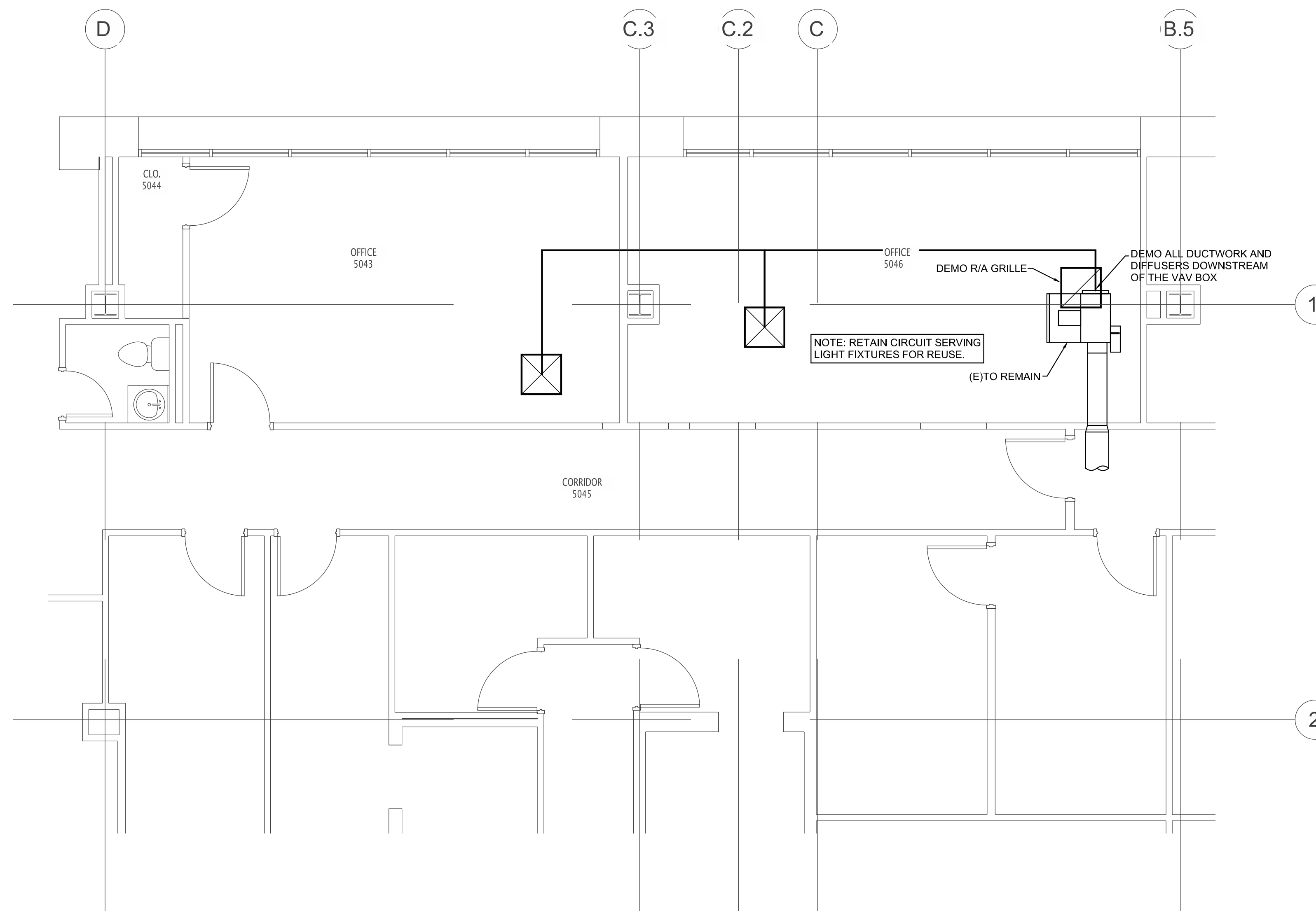


**NOTES BY SYMBOL "#"**

① DEMOLISH EXHAUST DUCTWORK BACK TO MAIN AND CAP. SEAL AIR TIGHT AND INSULATE TO MATCH.



**③ LEVEL SIX DEMOLITION PLAN AREA A**  
SCALE: 1/4" = 1'-0"

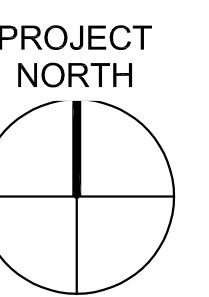


**② LEVEL FIVE DEMOLITION PLAN AREA A**  
SCALE: 1/4" = 1'-0"

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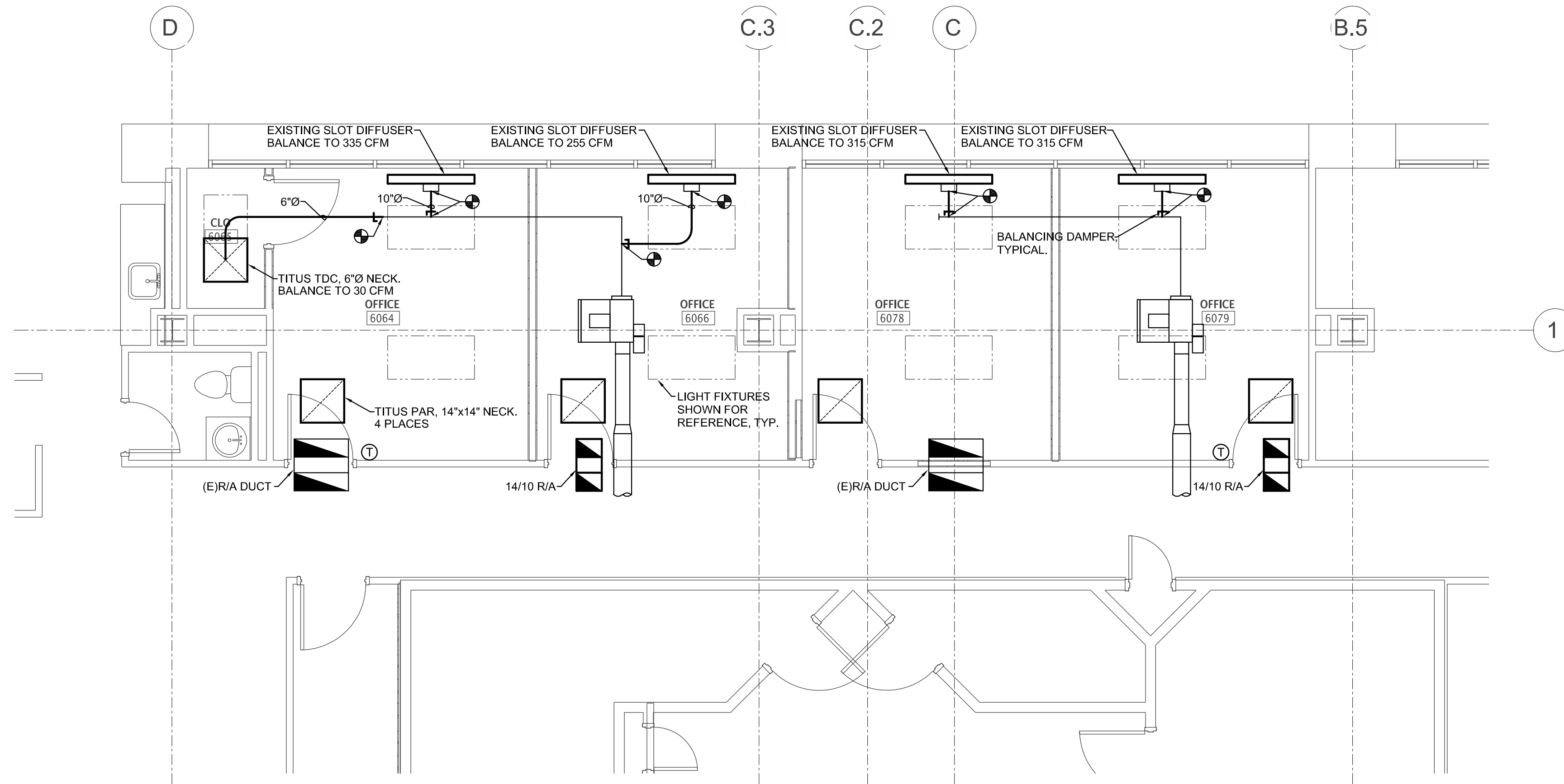
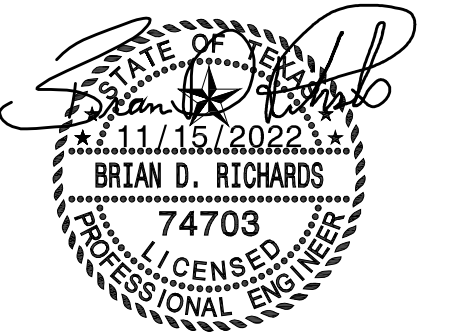
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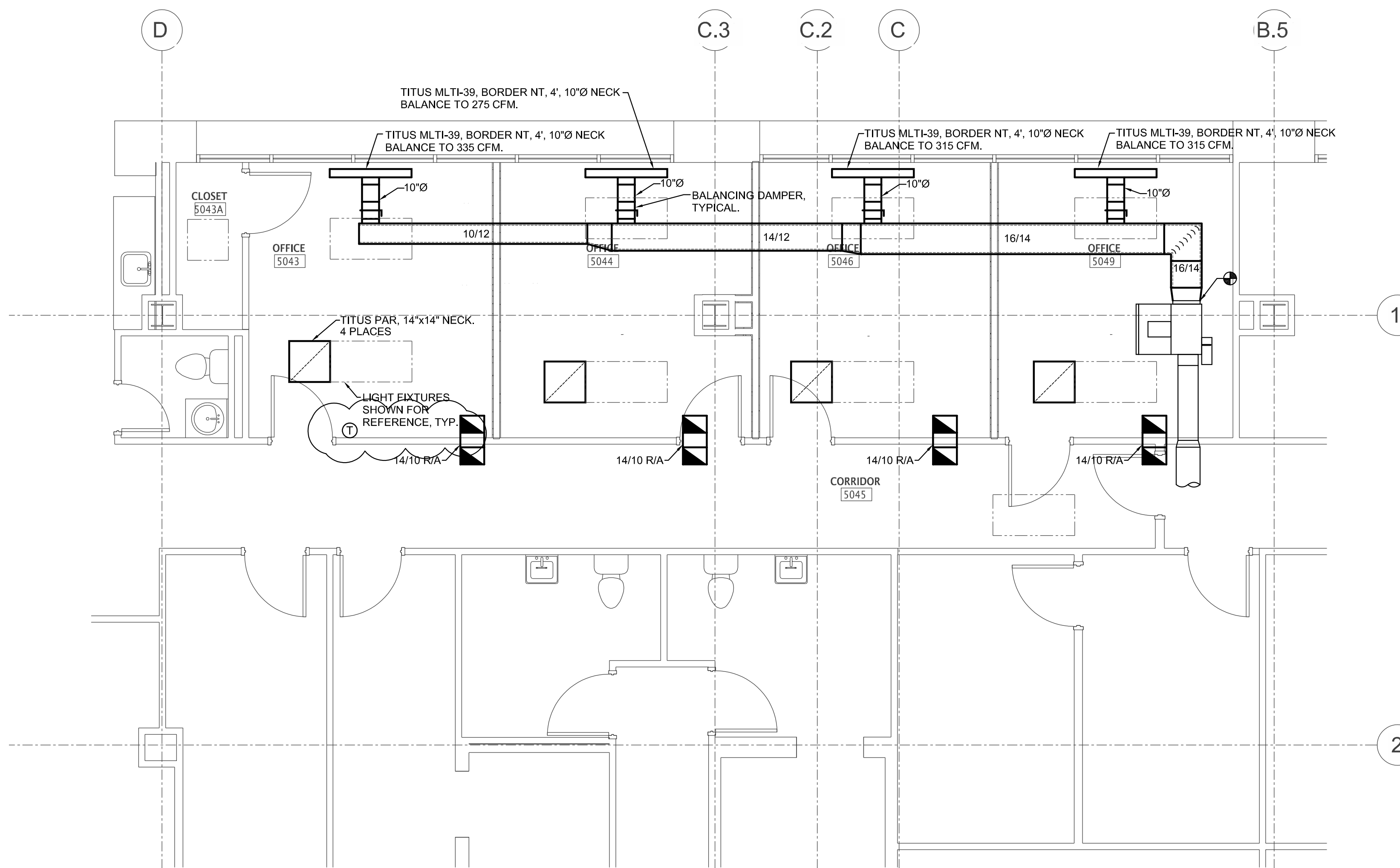
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ISSUED DATE:

5TH AND 6TH FLOOR DEMOLITION

REVISIONS:

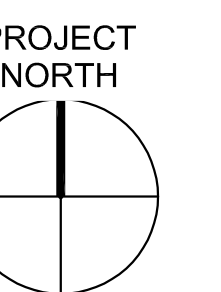



**3 LEVEL SIX ENLARGED PLAN AREA A**  
SCALE: 1/4" = 1'-0"



**2 LEVEL FIVE ENLARGED PLAN AREA A**  
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS



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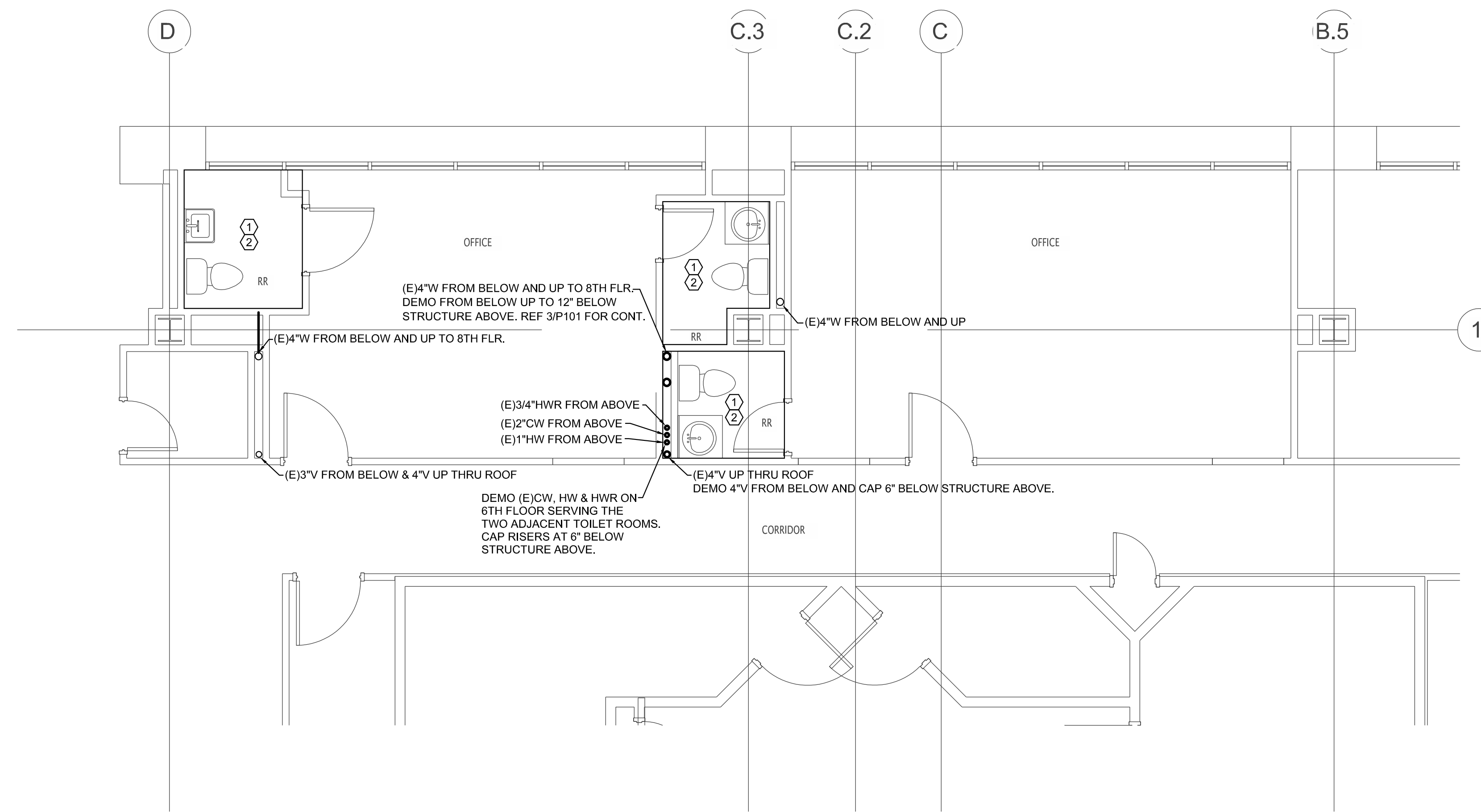
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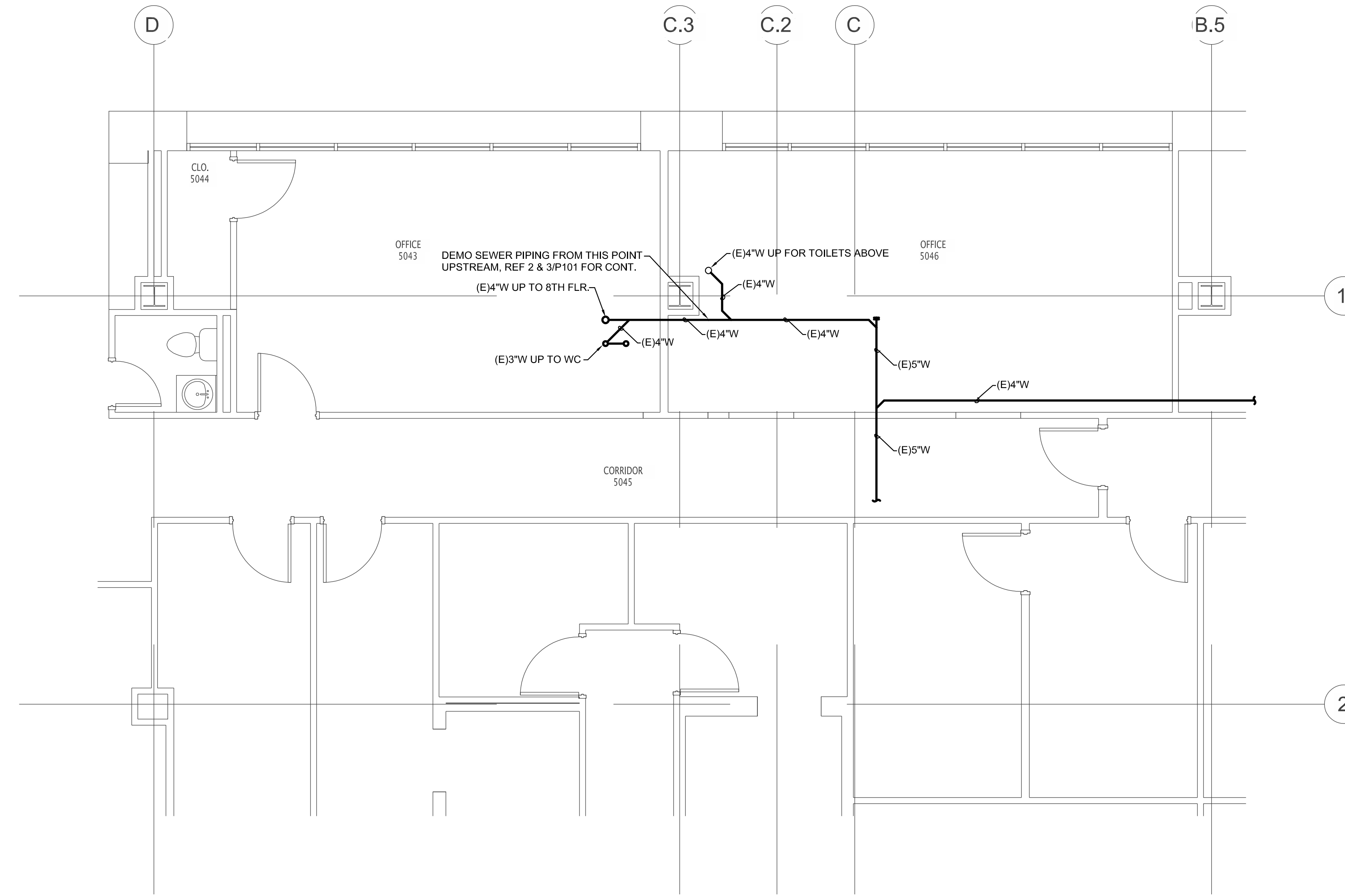
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5TH AND 6TH FLOOR PLANS

REVISIONS:

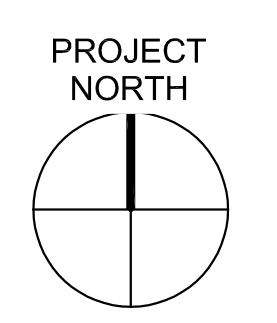



**2 LEVEL SIX DEMOLITION PLAN AREA A**  
SCALE: 1/4" = 1'-0"



**1 LEVEL FIVE DEMOLITION PLAN AREA A**  
SCALE: 1/4" = 1'-0"

**CONSTRUCTION DOCUMENTS**



CONSTRUCTION DOCUMENTS

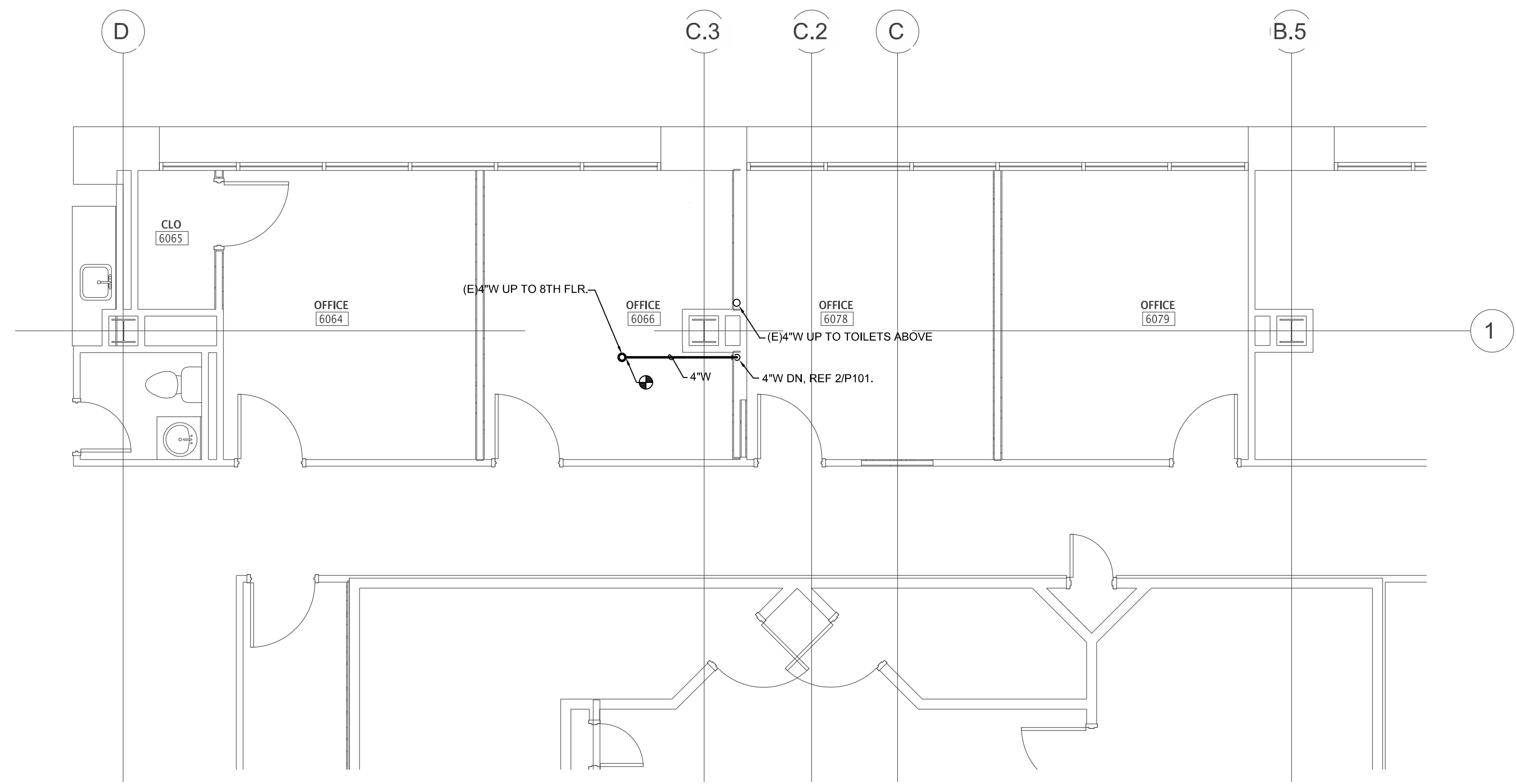
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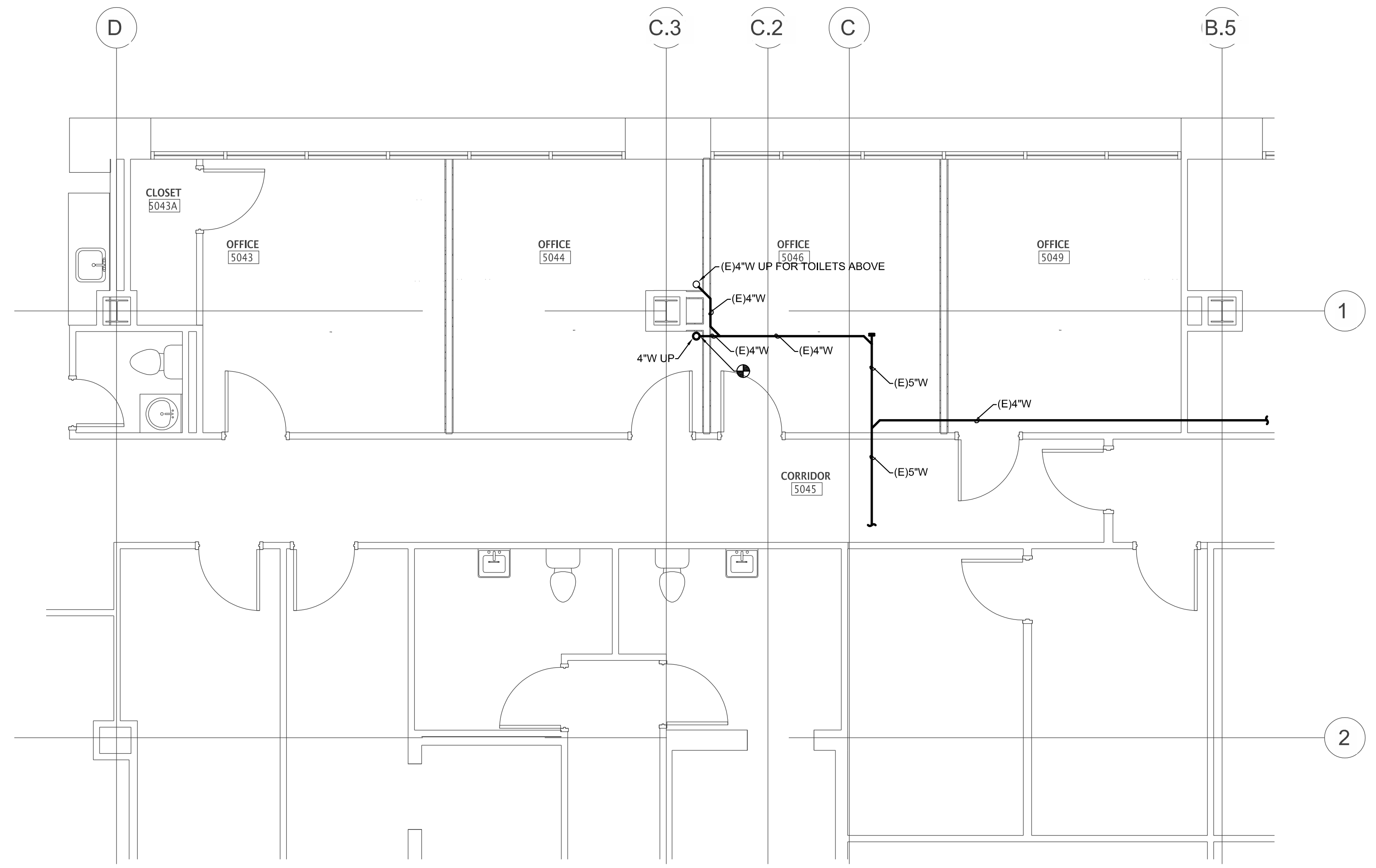
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**5TH AND 6TH FLOOR DEMOLITION**

REVISIONS:

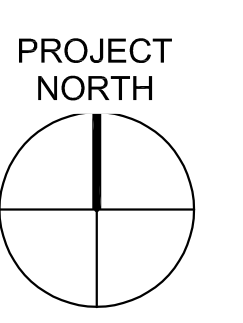



**2 LEVEL SIX ENLARGED PLAN AREA A**  
SCALE: 1/4" = 1'-0"



**1 LEVEL FIVE ENLARGED PLAN AREA A**  
SCALE: 1/4" = 1'-0"

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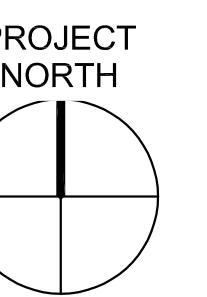
**5TH AND 6TH FLOOR PLANS**



REVISIONS:




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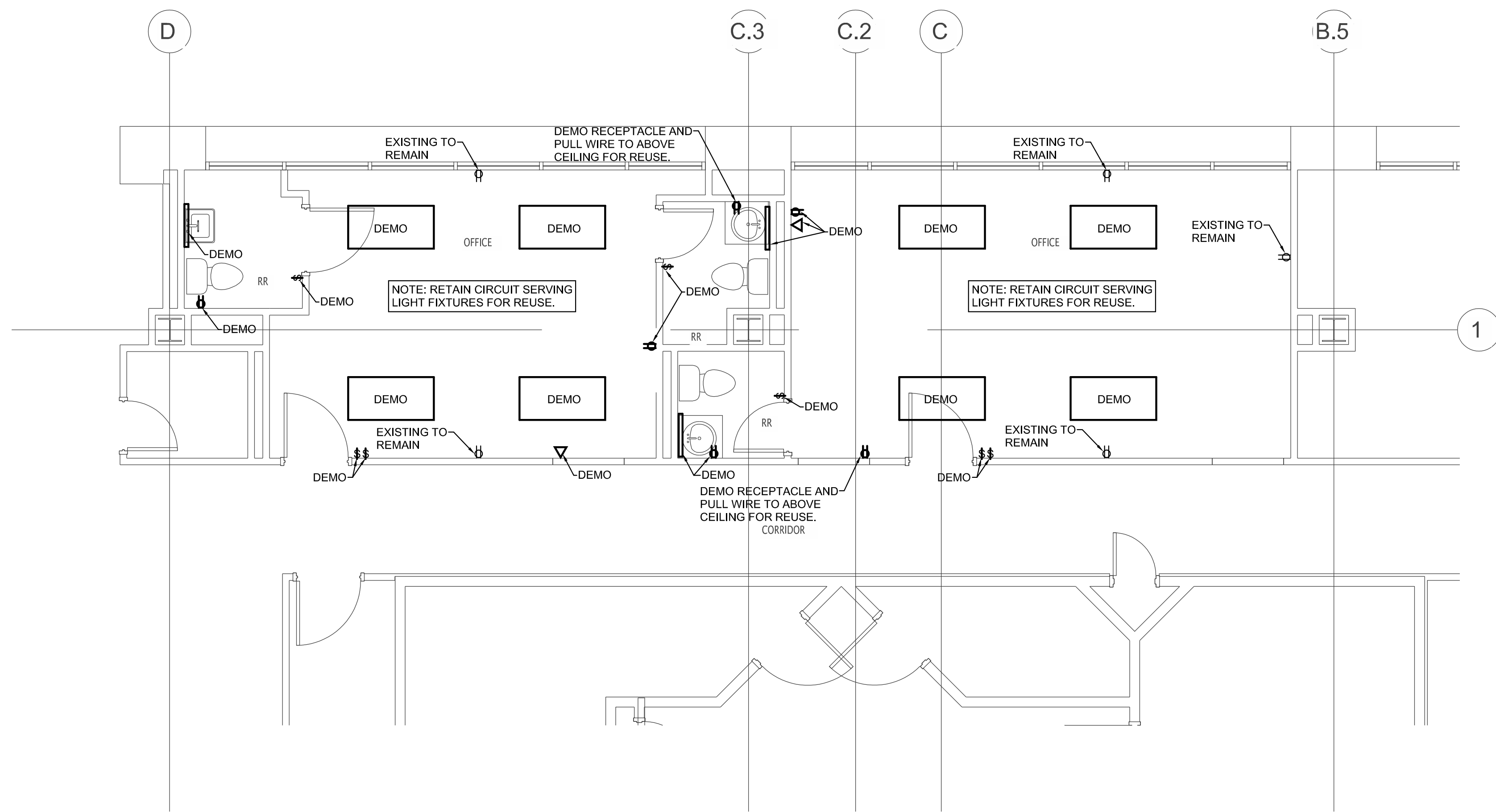
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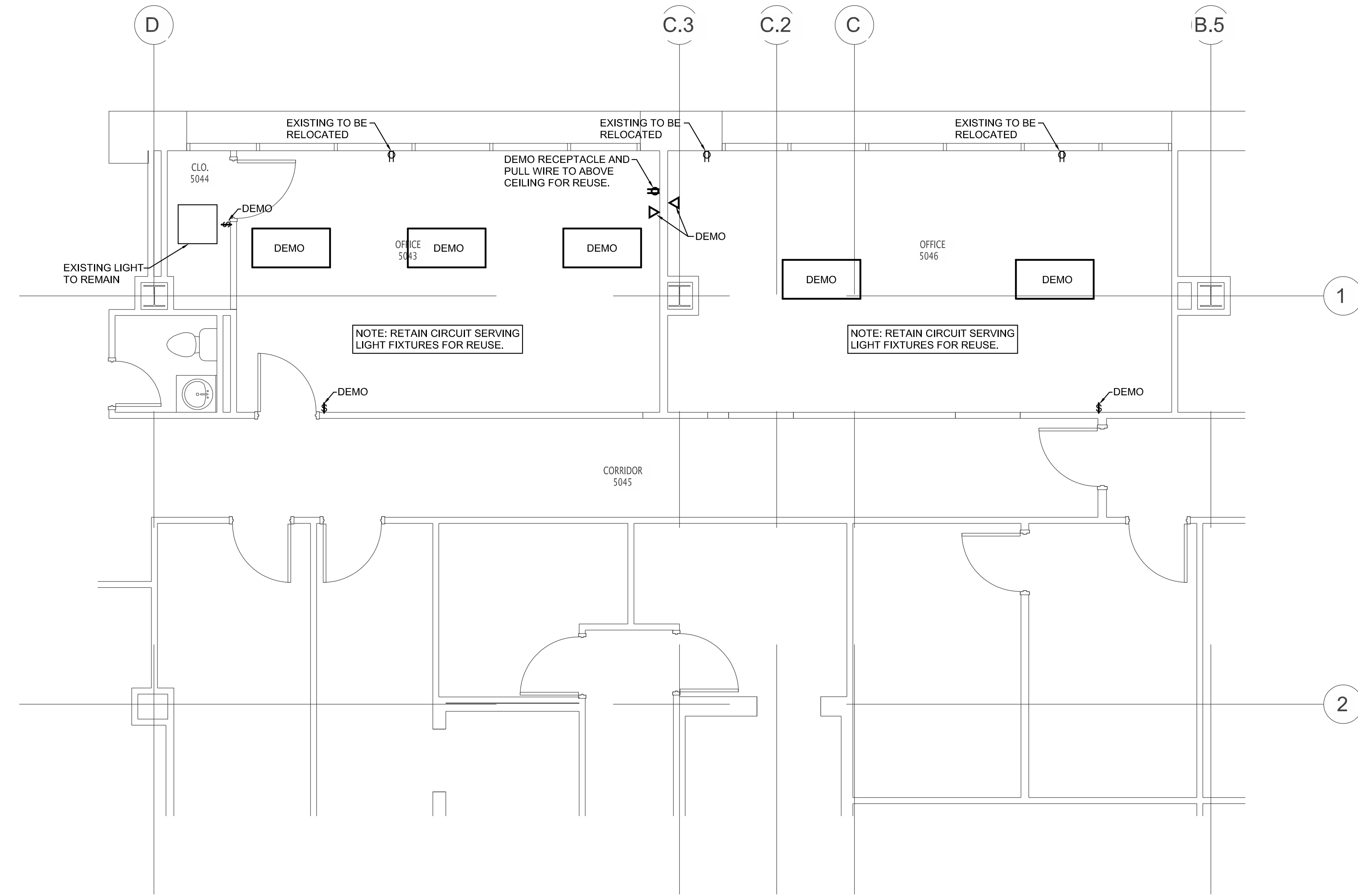
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ISSUED DATE: 11/15/2022

5TH AND 6TH FLOOR DEMOLITION

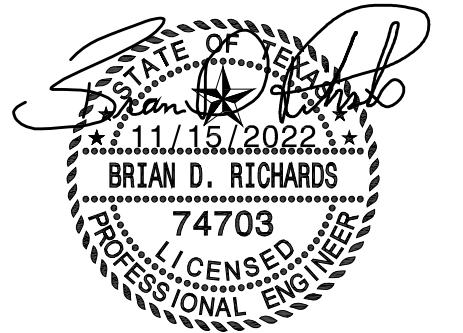


**3 LEVEL SIX DEMOLITION PLAN AREA A**  
SCALE: 1/4" = 1'-0"



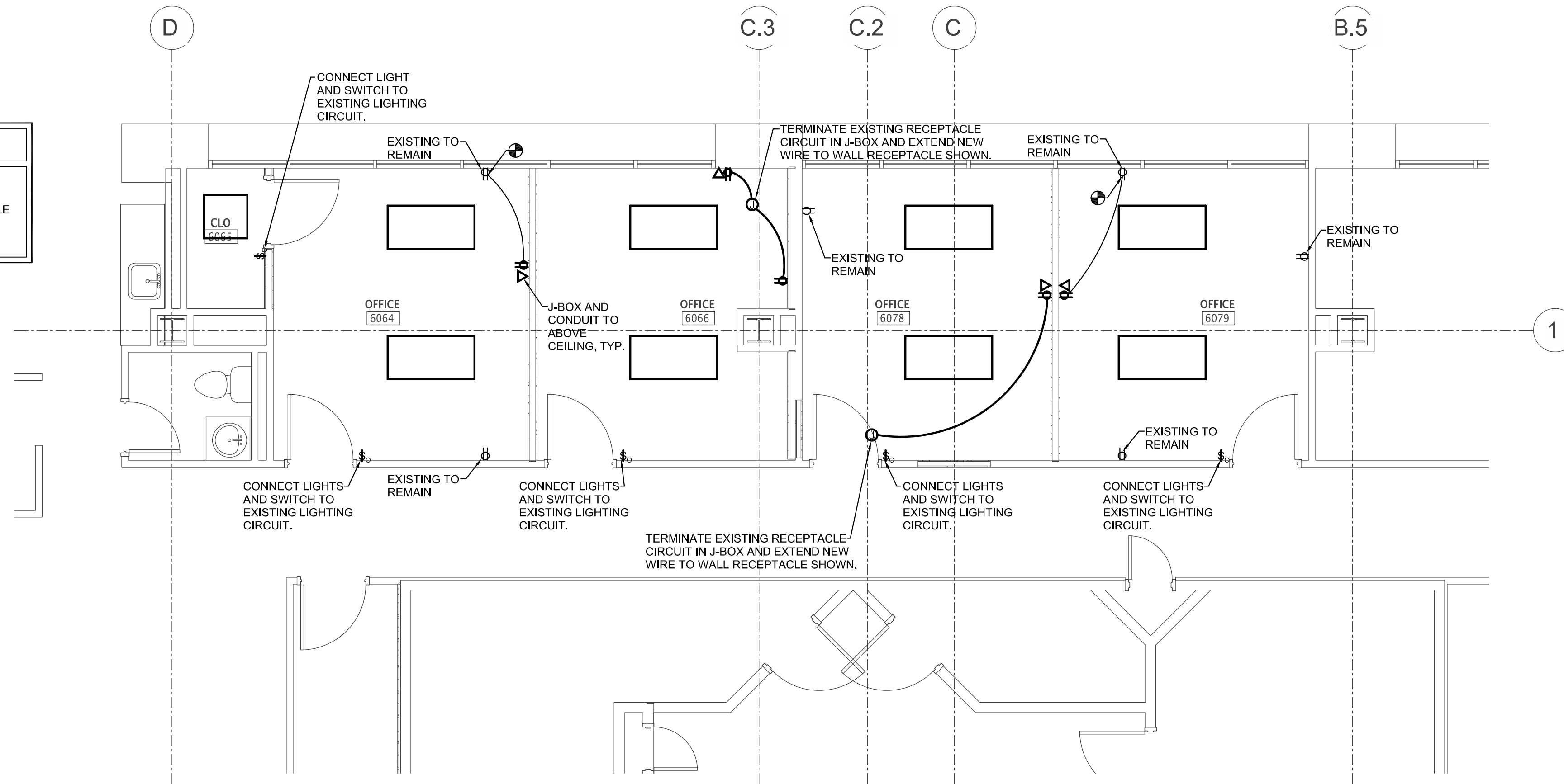
**2 LEVEL FIVE DEMOLITION PLAN AREA A**  
SCALE: 1/4" = 1'-0"

REVISIONS:

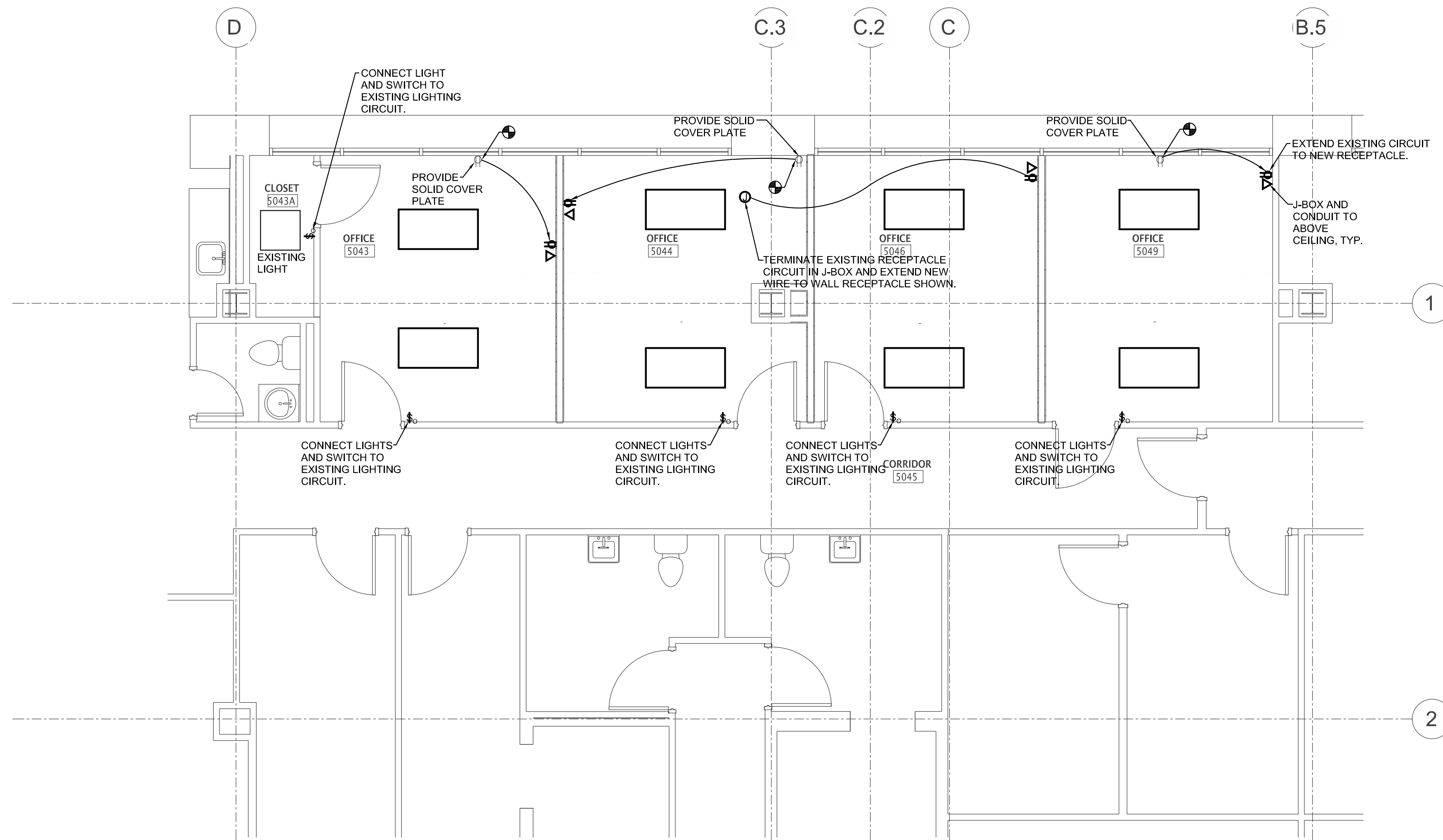



**GENERAL NOTES**

1. INDICATES "CONNECT TO EXISTING".
2. ALL WIRE, UNLESS INDICATED OTHERWISE, SHALL BE 2#12, #12G, 1/2" C. MC CABLE WITH THE SAME WIRE SIZE IS ACCEPTABLE FOR CONNECTING RECEPTACLES IN WALLS.

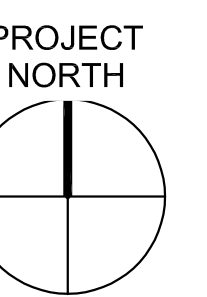


**3 LEVEL SIX ENLARGED PLAN AREA A**  
SCALE: 1/4" = 1'-0"



**2 LEVEL FIVE ENLARGED PLAN AREA A**  
SCALE: 1/4" = 1'-0"

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**5TH AND 6TH FLOOR PLANS**