**Company Name:** 



TARRANT COUNTY PURCHASING DEPARTMENT

MELISSA LEE, C.P.M., A.P.P. PURCHASING AGENT CHRIS LAX, CPSM, CPSD, CPCP ASSISTANT PURCHASING AGENT

# **VOLUME 2 – TECHNICAL SPECIFICATIONS**

# RFB NO. 2023-068

# PROJECT MANUAL FOR CRIMINAL DISTRICT COURT RENOVATIONS GENERAL CONTRACTOR WORK

TIM CURRY CRIMINAL JUSTICE CENTER 401 W. BELKNAP STREET FORT WORTH, TX 76196

# BIDS DUE FEBRUARY 23, 2023 2:00 P.M. CST

Technical Specifications Prepared by

Architect: GSBS Architects 901 W. Vickery Blvd. Suite 100 Fort Worth, TX 76104 MEP/FP: Summit Consultants 1300 Summit Ave., Suite 500 Fort Worth, TX 76102

# RFB NO. 2023-068



Criminal District Court Renovations General Contractor Work Tim Curry Criminal Courts Building-Tarrant County 401 W Belknap, Fort Worth, Texas 76196

Criminal District Court Renovations General Contractor Work

The general scope of the work is on two floors of the facility. One area on the fifth floor with approximately 670 sf and one area on the 6th floor with approximately 670 sf that are being remodeled into smaller offices in support of the 485th District Court.

The total SF of work area will be approximately 1340 SF.

General work in the areas include Selective Demolition of existing finishes and drywall partitions and new construction of Drywall, Painting and Sealants, Carpet replacement, Painting, Acoustical ceilings, Doors and Frames, Electrical, Plumbing, Mechanical.

Contractor shall bid the Building Automation Controls work, (BAC) using Tarrant County Contracted Vendor, Enviromatic Systems Services, Inc. Contact Sid Ellis Jr. 972-206-2590 or sellis@enviromaticsystems.com

Owner Provided work:

Tarrant County will contract directly with our Test, Adjust & Balance Consultant, Air Balancing Company, Inc. A separate PO will be issued to them for this work.

Tarrant County will also contract directly with Able Communications for the IT Data Drops.

All work for this project is to be accomplished <u>after</u> normal business hours. For this project, those hours are Monday through Friday, 6:01 PM – 5:50 AM and weekends.

901 WEST VICKERY BLVD. SUITE Nº 100 FORT WORTH, TX 76104 P 817.589.1722

# HONORABLE B. GLEN WHITLEY COUNTY JUDGE

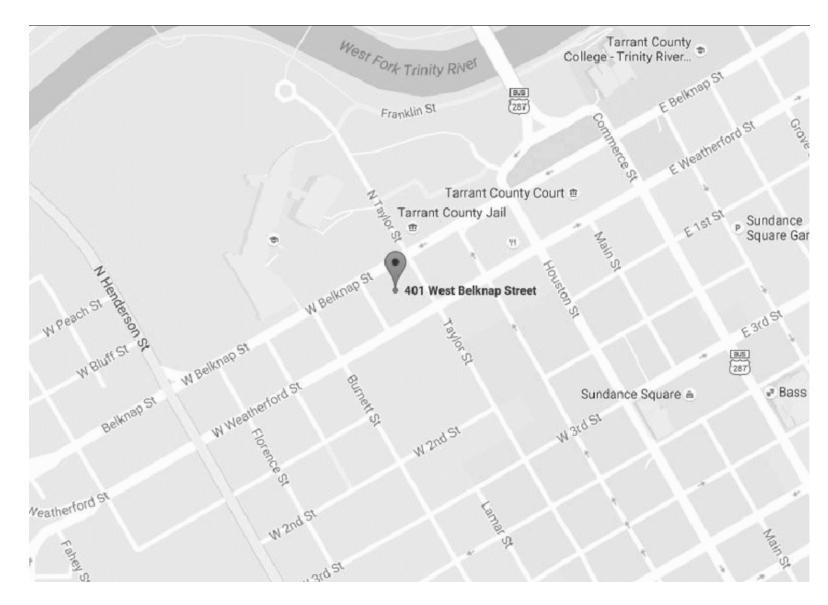
HONORABLE ROY CHARLES BROOKS **COMMISSIONER PRECINCT 1** 

HONORABLE DEVAN ALLEN COMMISSIONER PRECINCT 2

HONORABLE GARY FICKES COMMISSIONER PRECINCT 3

# HONORABLE J.D. JOHNSON COMMISSIONER PRECINCT 4

# VICINITY MAP



# 

					ABBREVIATION	S				GRAF	PHIC SYMBOLS	MATERIALS/LEGEND
ABV A.F.F. ADJ. ALUM. ASTM AB < APPROX ARCH. @ BP BRG. B.M. BTWN BITUM. BD.	ABOVE ABOVE FINISH FLOOR ADJUSTABLE ALUMINUM AMERICAN SOCIETY FOR TESTING MATERIALS ANCHOR BOLT ANGLE APPROXIMATE ARCHITECTURAL OR ARCHITECT AT BASE PLATE BEARING BENCHMARK BETWEEN BITUMINOUS BOARD	DEPT DTL. Ø DIA. DBL. DWGS. EA. E.F. E.S. E.W. EWC EL. ELEV. EQ. EXIST. EXP. E.J. EXT.	DEPARTMENT DETAIL DIAMETER DIAMETER DOUBLE DRAWINGS EACH EACH FACE EACH SIDE EACH SIDE EACH WAY ELECTRIC WATER COOLER ELEVATION ELEVATION ELEVATION EQUAL EXISTING EXPANSION JOINT EXPANSION JOINT EXTERIOR	GOVT. GFCI GFGI GND. GYP. BD GWB. HC. HDWR. HSA HVAC HT. HSA HVAC HT. HAR. HORIZ. HR. HYD	GOVERNMENT GOVERNMENT FURNISHED CONTRACTOR INSTALLED GOVERNMENT FURNISHED GOVERNMENT INSTALLED GROUND	MECH. MTL. MIN. MISC. N.I.C. N.T.S. # NO. O.C. OWSJ OPP.	MECHANICAL METAL MINIMUM MISCELLANEOUS NOT IN CONTRACT NOT TO SCALE NUMBER NUMBER ON CENTER OPEN WEB STEEL JOIST OPPOSITE OUTSIDE DIAMETER OUTSIDE FACE OVERHEAD OVERHEAD DOOR PAINTED OR PAINT PARTITION PERPENDICULAR	SHT. SHR. SIM. STC SPEC. STD. STRUCT SUPER. SUSP. THRU T.O. T.O.A. T.O.A. T.O.C. T.O.F. T.O.S. T.O.W. TYP.	SHEET SHOWER SIMILAR SOUND TRANSMISSION COEFFICIENT SPECIFICATION STANDARD T STRUCTURAL SUPERVISOR SUSPENDED THROUGH TOP OF TOP OF ASPHALT TOP OF CURB TOP OF FOOTING TOP OF SLAB OR SIDEWALK TOP OF WALL TYPICAL	GRAF	PHIC SYMBOL GRID LINES DETAIL SYMBOL DETAIL NUMBER/ SHEET WHERE DETAIL IS DRAWN BUILDING SECTION SYMBOL SECTION REFERENCE/ SHEET WHERE SECTION IS DRAWN WALL SECTION SYMBOL SECTION REFERENCE/ SHEET WHERE SECTION IS DRAWN EXTERIOR ELEVATION SYMBOL ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN	MATERIALS/LEGEND         CONCRETE MASONRY UNIT         FACE BRICK         CONCRETE (POURED IN PLACE)         GYPSUM BOARD OR SETTING BEDS         MSULATION (BATT & BLANKET)         NSULATION (RIGID/SEMI-RIGID)         PLYWOOD         CONTINUOUS ROUGH WOOD         BLOCKING, ROUGH WOOD
BOT. B.O. BLDG	BOTTOM BOTTOM OF BUILDING	FT. F.V. FIN	FEET OR FOOT FIELD VERIFY FINISH	IN. INFO. I.D.	INCHES OR INCH INFORMATION INSIDE DIAMETER	PLAM PL. PCF	PLASTIC LAMINATE PLATE POUNDS PER CUBIC FOOT	U.N.O. VEN. V.I.F.	UNLESS NOTED OTHERWISE VENEER VERIFY IN FIELD	<b>\$</b>	ELEVATION CONTROL POINT OR DATUM POINT DOOR TAG	METAL (LARGE SCALE) GRAVEL
CLG. CL CT	CEILING CENTER LINE CERAMIC TILE	FF FE FEC	FINISH FLOOR FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	I.F. INSUL. INT. LAV.	INSIDE FACE INSULATION INTERIOR LAVATORY	PLF PSF PSI	POUNDS PER LINEAL FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	VEST. VCT	VERTICAL VESTIBULE VINYL COMPOSITION TILE	100A W1	DOOR NUMBER WINDOW TAG WINDOW OR STOREFRONT NUMBER	EARTH
CLR. COL CONC CMU	CLEAR COLUMN CONCRETE CONCRETE MASONRY UNIT	FLR. FD FTG. FDN.	FLOOR FLOOR DRAIN FOOTING FOUNDATION	LT. LT. WT. MAINT.	LIGHT LIGHT WEIGHT MAINTENANCE	PROT. QTY. RAD. REINF.	PROTECTION QUANTITY RADIUS REINFORCED	WWF W/ WD.	WELDED WIRE FABRIC WITH WOOD	NAME	ROOM TAG ROOM NAME ROOM NUMBER	COMPACTED FILL QUARRY/CERAMIC TILE
CONST. CONT. C.J. COORD. DBA	CONSTRUCTION CONTINUOUS CONTROL JOINT COORDINATE DEFORMED BAR ANCHOR	GA. GAL. GPM GALV.	GAGE/GAUGE GALLON GALLONS PER MINUTE GALVANIZED	MANUF. MFR. M.O. MAT. MAX.	MANUFACTURER MANUFACTURER MASONRY OPENING MATERIAL MAXIMUM	REQ R.D. RM. R.O. SCHED.	REQUIRED ROOF DRAIN ROOM ROUGH OPENING SCHEDULE			Image: Main and the second	REVISION TAG VIEW TITLE <u>ME</u> VIEW NUMBER/ SHEET WHERE VIEW IS LOCATED VIEW NAME/ VIEW SCALE	FIREPROOFING WOOD

# TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT CONSTRUCTION D

	DRAWING INDEX		DRAWING INDEX
SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAM
ENERAL		8	
000	COVER SHEET		
		MECHANICAL	
		M100	5TH AND 6TH FLOOR DEMOLITION
EMOLITION		M101	5TH AND 6TH FLOOR PLANS
100	5TH AND 6TH FLOOR DEMOLTION	2	
		PLUMBING	
RCHITECTURE		P100	5TH AND 6TH FLOOR DEMOLITION
00	OVERALL 5TH FLOOR PLAN	P101	5TH AND 6TH FLOOR PLANS
01	OVERALL 6TH FLOOR PLAN	2	
102	ENLARGED 5TH AND 6TH FLOOR PLANS		
103	ENLARGED 5TH AND 6TH FLOOR FINISH AND SIGNAGE PLANS	ELECTRICAL	
104	5TH AND 6TH REFLECTED CEILING PLANS	E100	5TH AND 6TH FLOOR DEMOLITION
200	INTERIOR DETAILS AND DOOR SCHEDULE	E101	5TH AND 6TH FLOOR PLANS
300	SPECIFICATIONS	2	
301	SPECIFICATIONS		



901 W. VICKERY BLVD, SUITE 100 FORT WORTH, TX 76104

P 817.589.1722 F 817.595.2916

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### MEP ENGINEERING: SUMMIT CONSULTANTS, INC 1300 SUMMIT AVENUE SUITE 500 FORT WORTH, TX 76102 817-878-4242



OCUMENTS	OCL	JM	EN	T
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# DRAWING INDEX

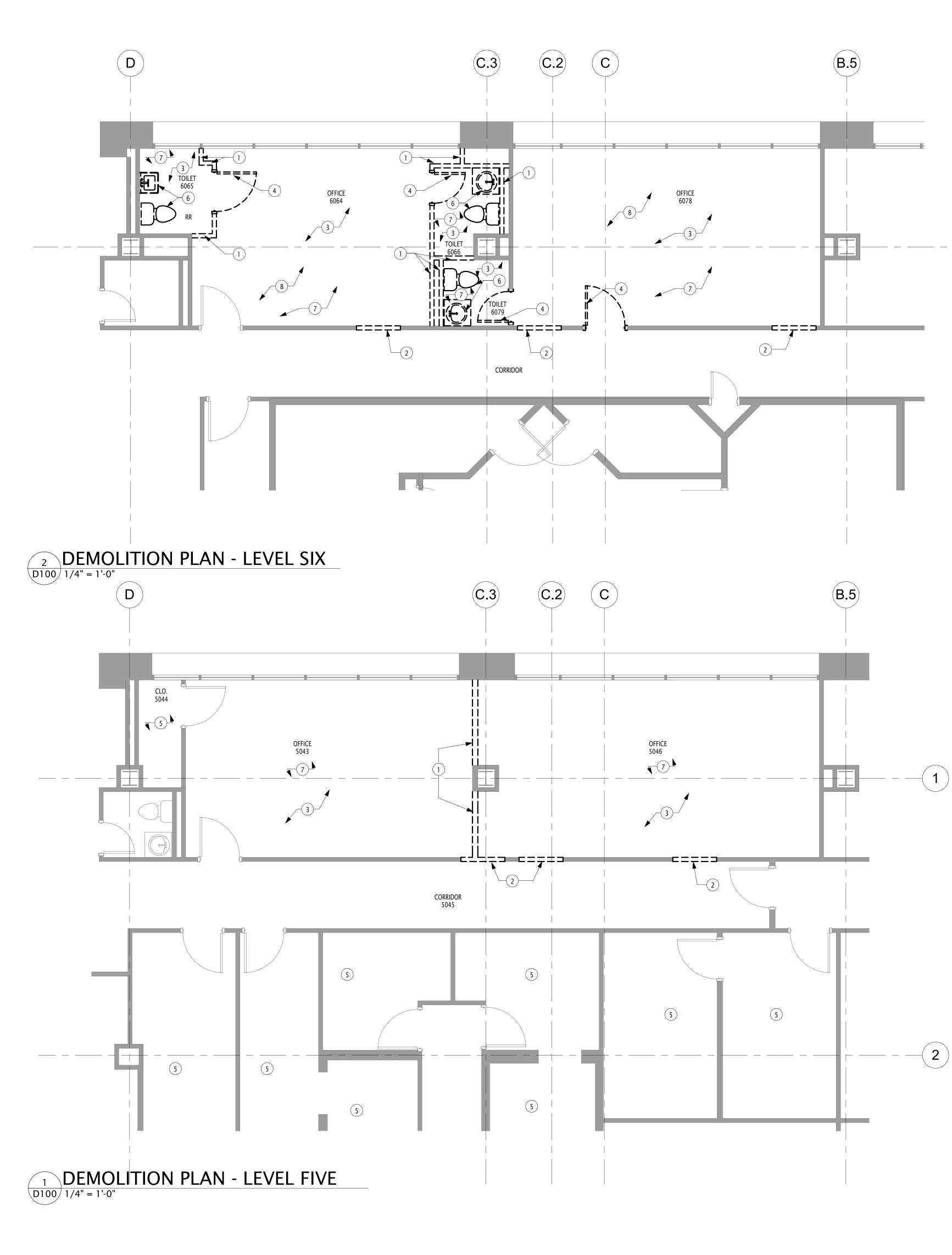
# TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

401 W Belknap St, Fort Worth, TX 76196

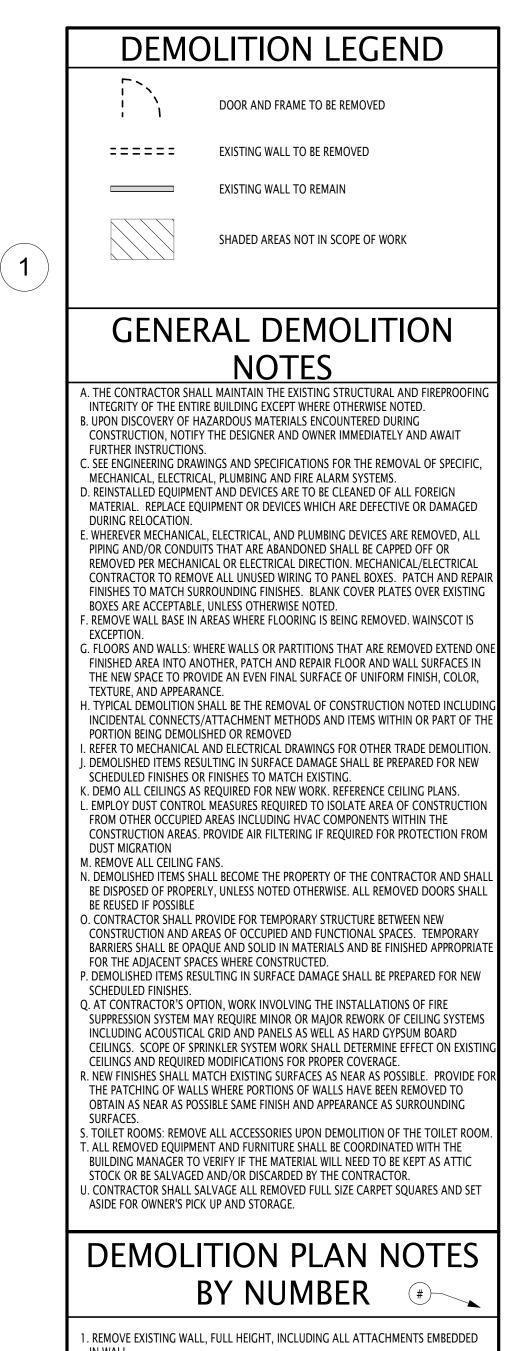
# TARRANT COUNTY FACILITIES MANAGEMENT

100 W. WEATHERFORD ST, FORT WORTH, TX 76196

**GSBS PROJECT NO.:** ISSUED DATE:







IN WALL. 2. REMOVE PORTION OF EXISTING WALL AS INDICATED, FOR NEW CONSTRUCTION. 3. REMOVE ALL FLOORING AND BASE MATERIAL THIS ROOM.

- 4. REMOVE EXISTING DOOR AND FRAME. 5. NO WORK THIS ROOM.
- 6. REMOVE EXISTING PLUMBING FIXTURES PER MECHANICAL/PLUMBING.

 REMOVE EXISTING CEILING INCLUDING ALL ATTACHMENTS IN THIS ROOM.
 CAREFULLY CUT AND REMOVE PORTIONS OF EXISTING WAINSCOT PANELING IN AREAS OF NEW CONSTRUCTION. ALL EXISTING PANELING SHALL BE SALVAGED FOR MATCHING AND REUSE.



CONSTRUCTION DOCUMENTS

# CONSTRUCTION DOCUMENTS

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

401 W Belknap St, Fort Worth, TX 76196

# TARRANT COUNTY FACILITIES MANAGEMENT

100 W. WEATHERFORD ST, FORT WORTH, TX 76196

OWNER PROJECT NO.: GSBS PROJECT NO.: ISSUED DATE:

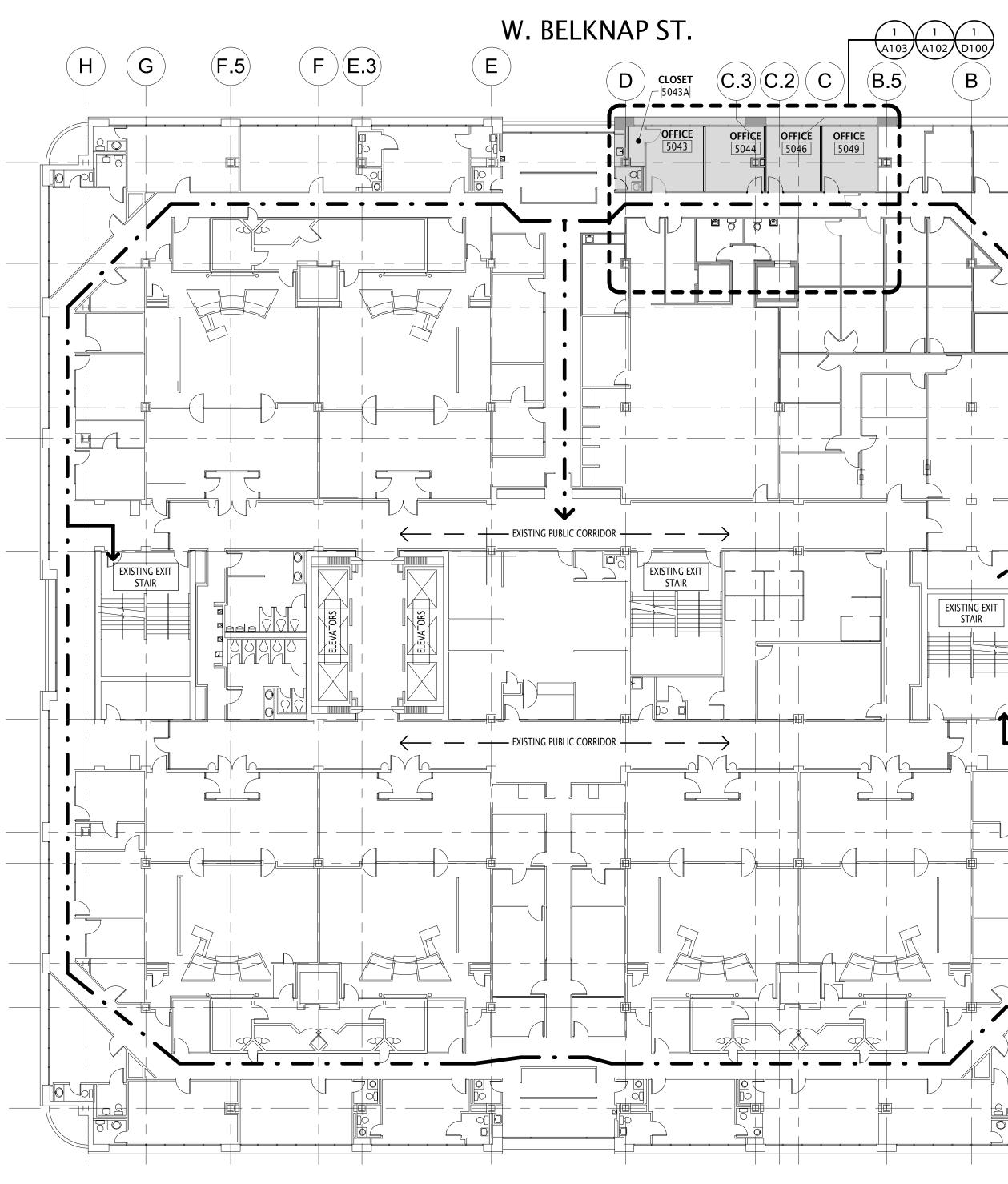
2017.108.09 11/15/2022

5TH AND 6TH FLOOR DEMOLTION

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W. WEATHERFORD ST.

1 OVERALL PLAN - LEVEL FIVE A100 1/16" = 1'-0"

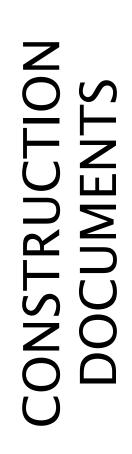


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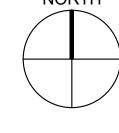
DOCUMENTS

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

401 W Belknap St, Fort Worth, TX 76196

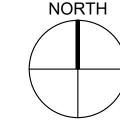
FACILITIES MANAGEMENT

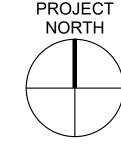
TARRANT COUNTY



CONSTRUCTION









2017.108.09 11/15/2022

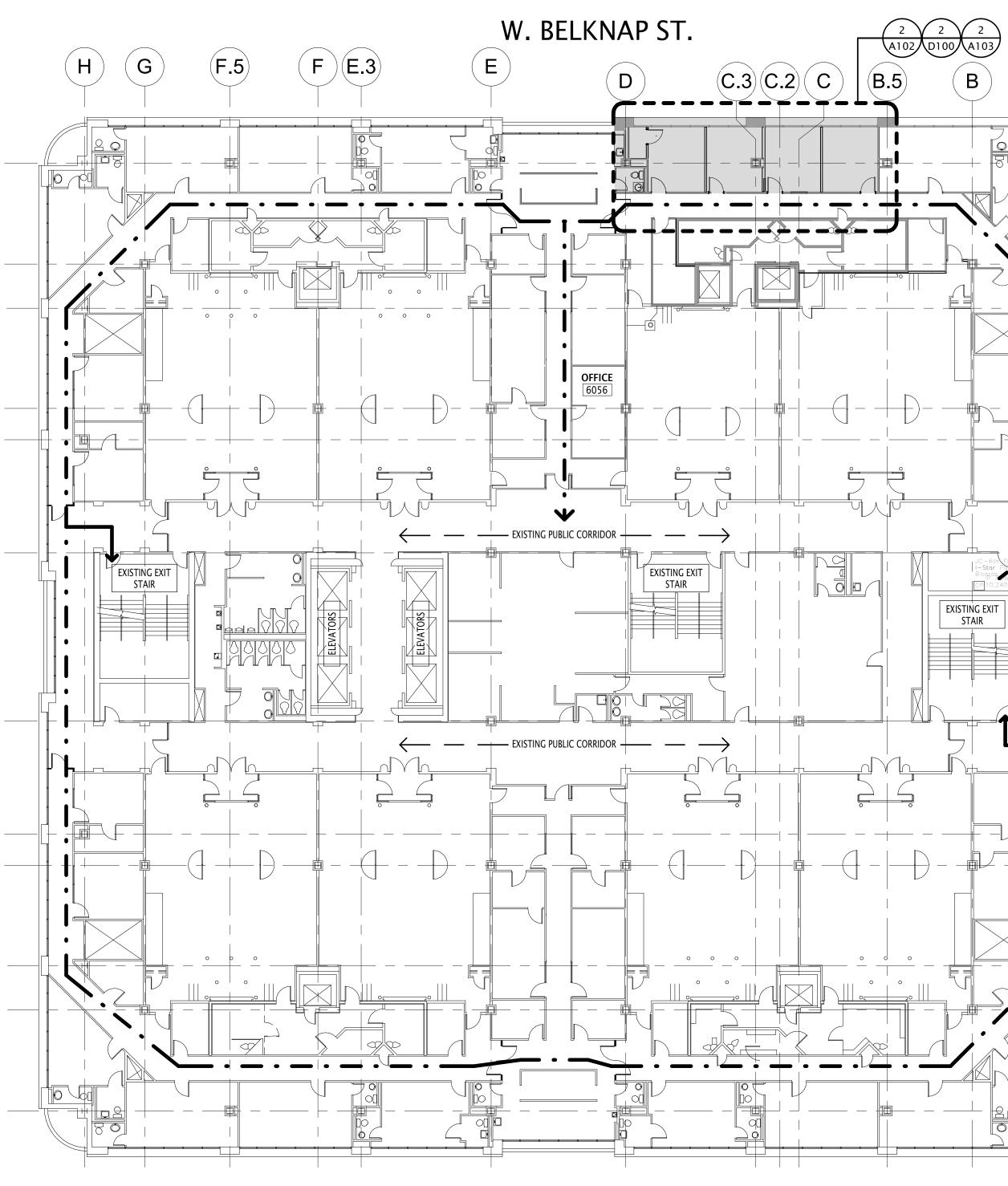
100 W. WEATHERFORD ST, FORT WORTH, TX 76196 OWNER PROJECT NO.: GSBS PROJECT NO.: ISSUED DATE: OVERALL 5TH FLOOR PLAN

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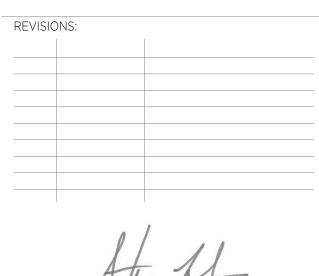
W. WEATHERFORD ST.

1 OVERALL PLAN - LEVEL SIX



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# CONSTRUCTION DOCUMENTS

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

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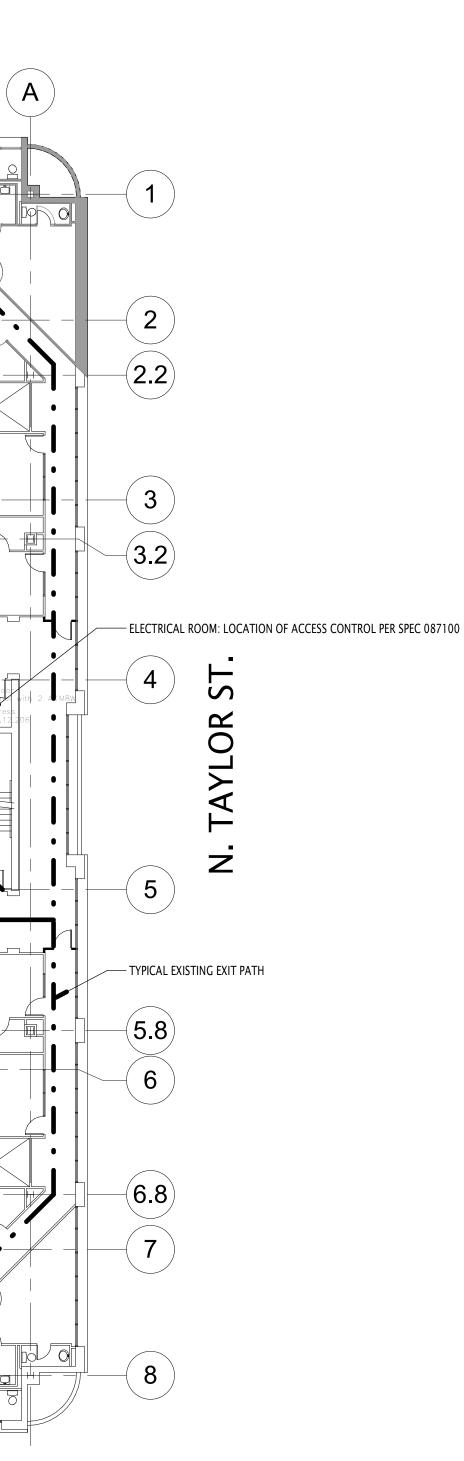
TARRANT COUNTY

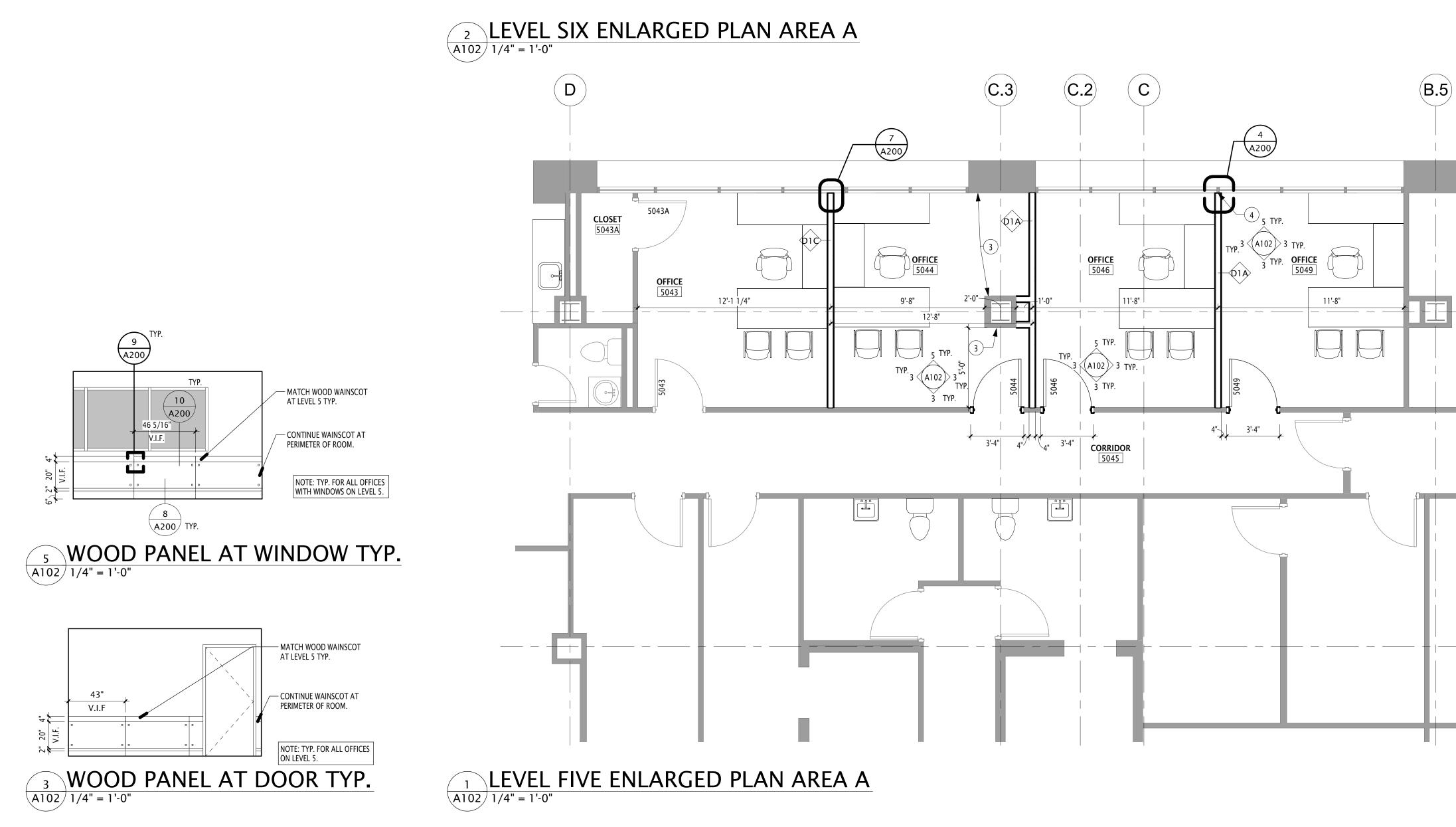
**FACILITIES MANAGEMENT** 

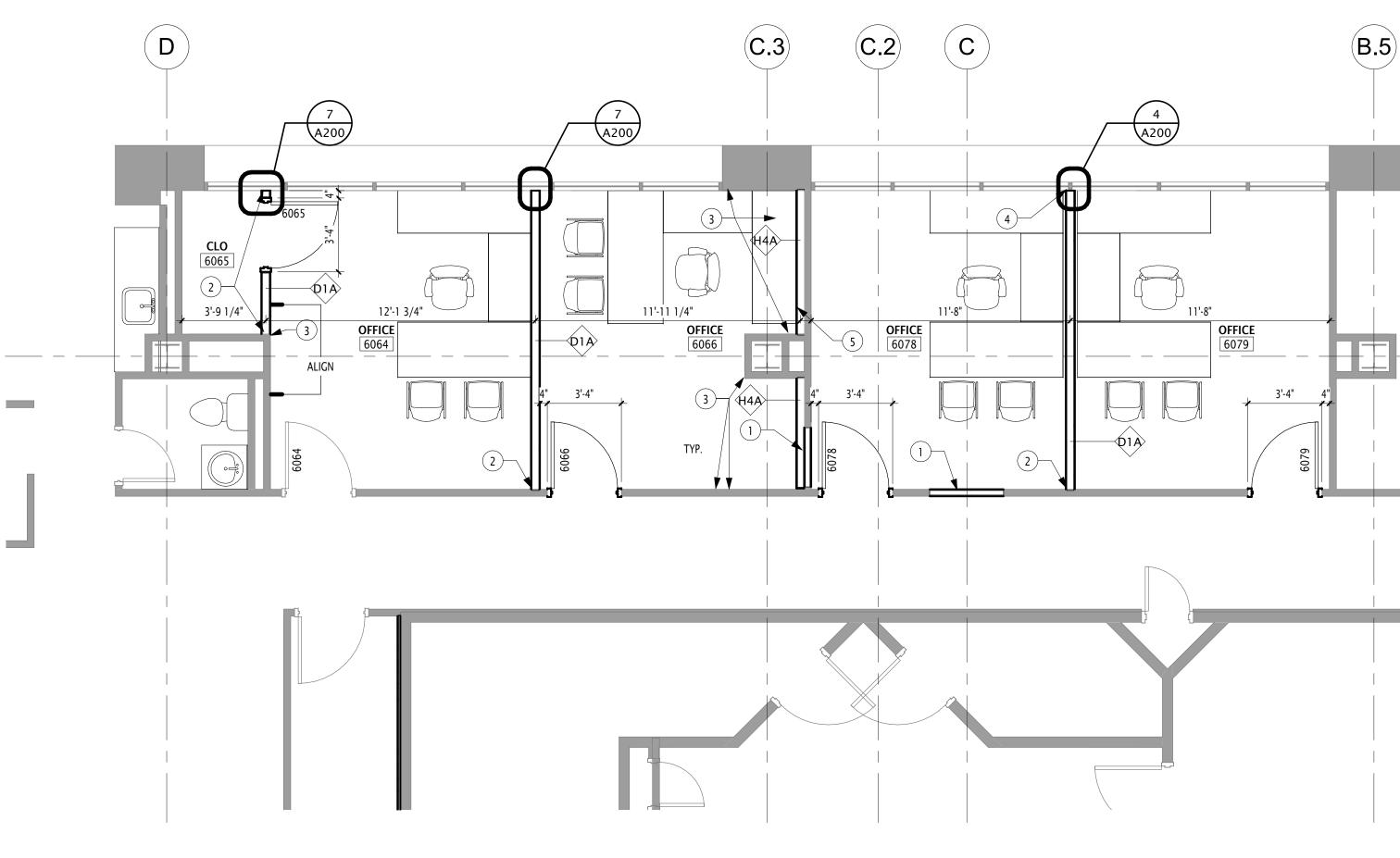
100 W. WEATHERFORD ST, FORT WORTH, TX 76196

OWNER PROJECT NO .: GSBS PROJECT NO.: ISSUED DATE: 2017.108.09 11/15/2022

OVERALL 6TH FLOOR PLAN











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CONSTRUCTION DOCUMENTS

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KEYPLAN

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

401 W Belknap St, Fort Worth, TX 76196

TARRANT COUNTY

FACILITIES MANAGEMENT

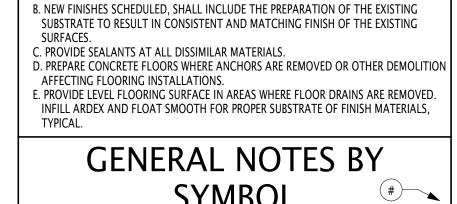
100 W. WEATHERFORD ST, FORT WORTH, TX 76196

OWNER PROJECT NO .: GSBS PROJECT NO .: ISSUED DATE:

2017.108.09 11/15/2022

ENLARGED 5TH AND 6TH FLOOR PLANS





GENERAL PLAN NOTES

A. NEW FINISHES SHALL MATCH EXISTING FINISHES WHERE PLACED IN THE SAME SPACES.

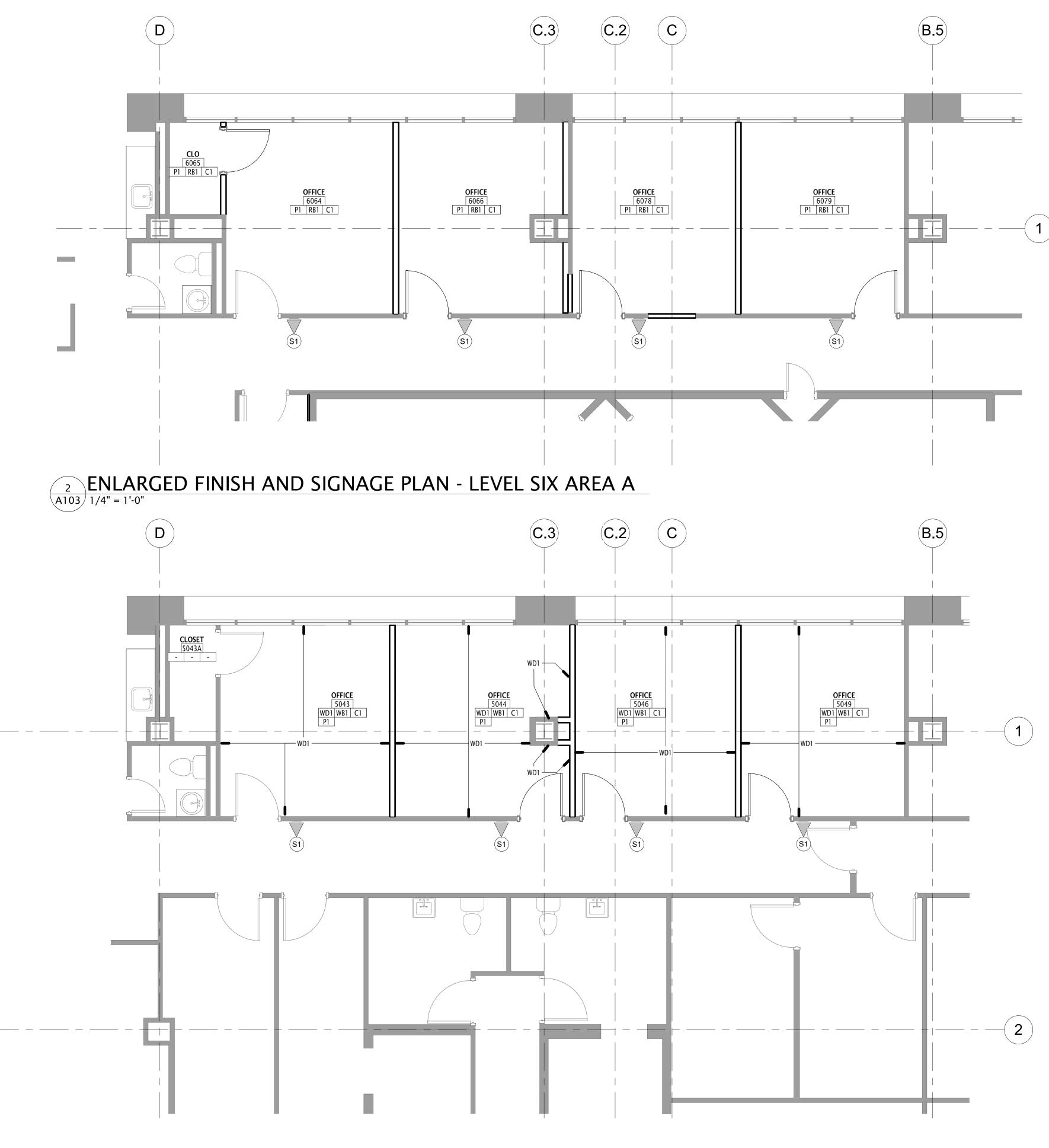
SYMBOL 1. PATCH WALL FROM REMOVAL OF DOOR. 2. SEAMLESS TRANSITION BETWEEN NEW AND OLD WALL. 3. PATCH AND REPAIR EXISTING WALL SURFACE AND CEILING SURFACE AT REMOVED WALL. 4. ALIGN CENTERLINE OF WALL WITH CENTERLINE OF MULLION.

1

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5. POSITION NEW WALL TIGHT AGAINST EXISTING WALL TO ACCOUNT FOR NEW VERTICAL PLUMBING. CONTRACTOR TO VERIFY NEW PIPING HAS MINIMAL IMPACT FOR NEW WALL PROJECTION INTO OFFICE SPACE.



1 A103 I/4" = 1'-0"

##		SIGNAGE SCHEDULE								
DOOR #/										
ROOM			BRAILLE				MOUNTING		ADDITIO	
#	ROOM NAME	COPY TEXT	TEXT	SIGN TYPE	HEIGHT	WIDTH	HEIGHT	MOUNTING	NOTE	
5043	MAGISTRATE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
5044	OFFICE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
5046	OFFICE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
5049	OFFICE	MAGISTRATE	YES	S1	8"	8"	4' - 6"	WALL		
6064	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		
6066	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		
6078	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		
6079	OFFICE	ADMINISTRATION	YES	S1	8"	8"	4' - 6"	WALL		

	SCHEDULED FINISHES							
-	DESCRIPTION	MANUFACTU RER	PRODUCT NAME / NUMBER	COLOR/ FINISH	SIZE	COMMENTS		
WALL								
P1	GENERAL PAINT	-	-	MATCH EXISTING COLOR	n/a			
BASE								
RB1	RUBBER BASE	-	-	MATCH EXISTING COLOR	-			
WB1	WOOD BASE	-	-	MATCH EXISTING	-	SEE DETAIL: A200/8		
FLOOR								
C1	CARPET	SHAW	PETO II	BRONZE 71205	24"X24"	RUNNING BOND		
MILLW	ORK	-						
WD1	WOOD WAINSCOTT PANELS	-	-	MATCH EXISTING	-	SEE DETAILS: A200/8,9, AND 10		
DOOR								
PL3	PLASTIC LAMINATE	FORMICA	#463-MC	SAIL WHITE	n/a	FINISH FOR DOORS		



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CONSTRUCTION DOCUMENTS



# CONSTRUCTION DOCUMENTS

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

401 W Belknap St, Fort Worth, TX 76196

TARRANT COUNTY FACILITIES MANAGEMENT

100 W. WEATHERFORD ST, FORT WORTH, TX 76196

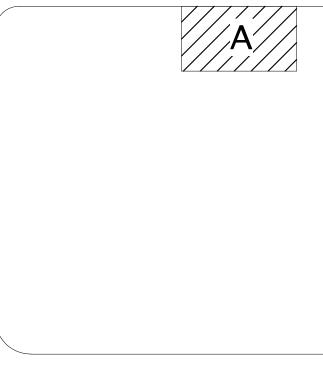
OWNER PROJECT NO.: GSBS PROJECT NO.: ISSUED DATE:

2017.108.09 11/15/2022

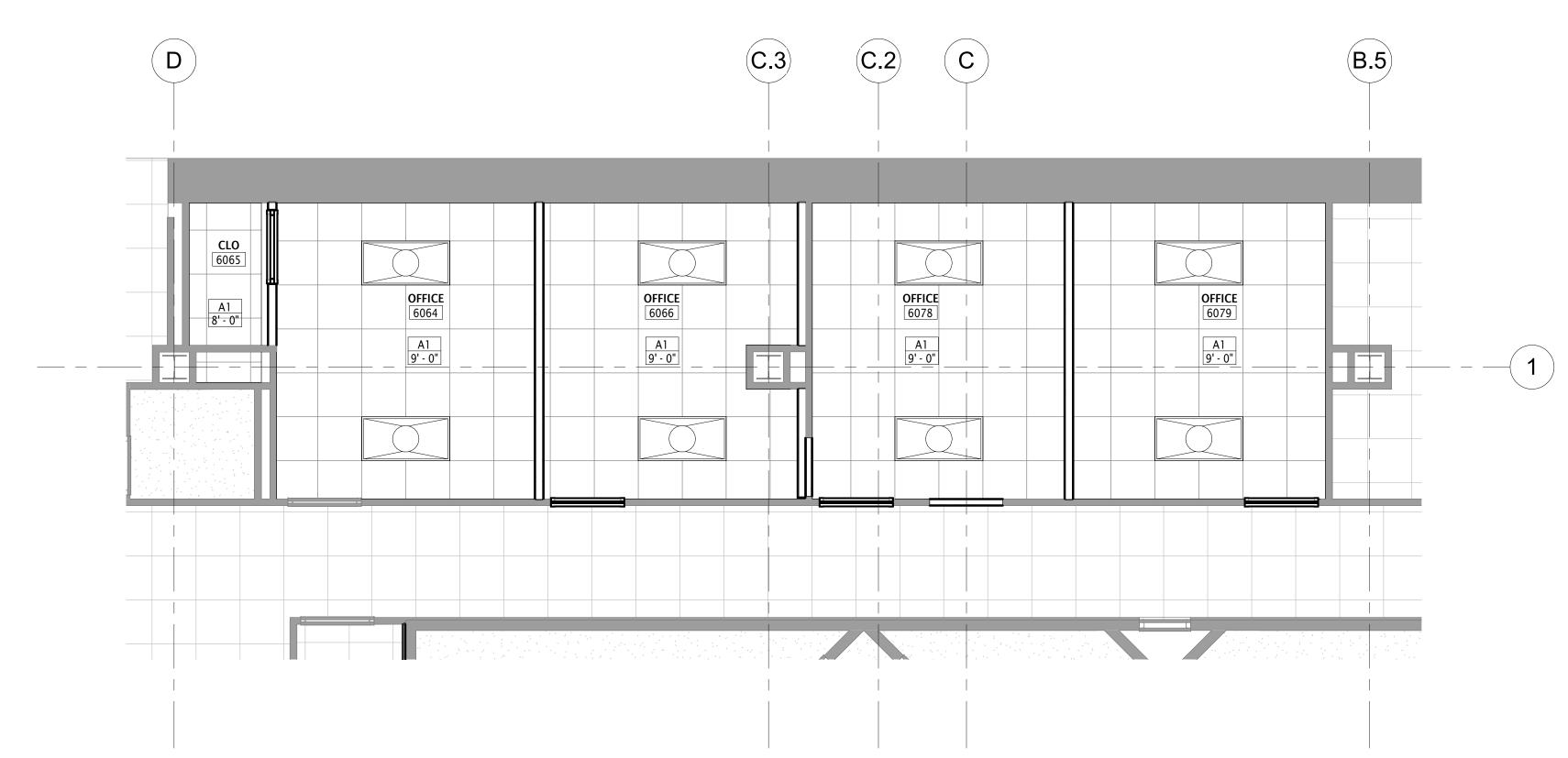
ENLARGED 5TH AND 6TH FLOOR FINISH AND SIGNAGE PLANS

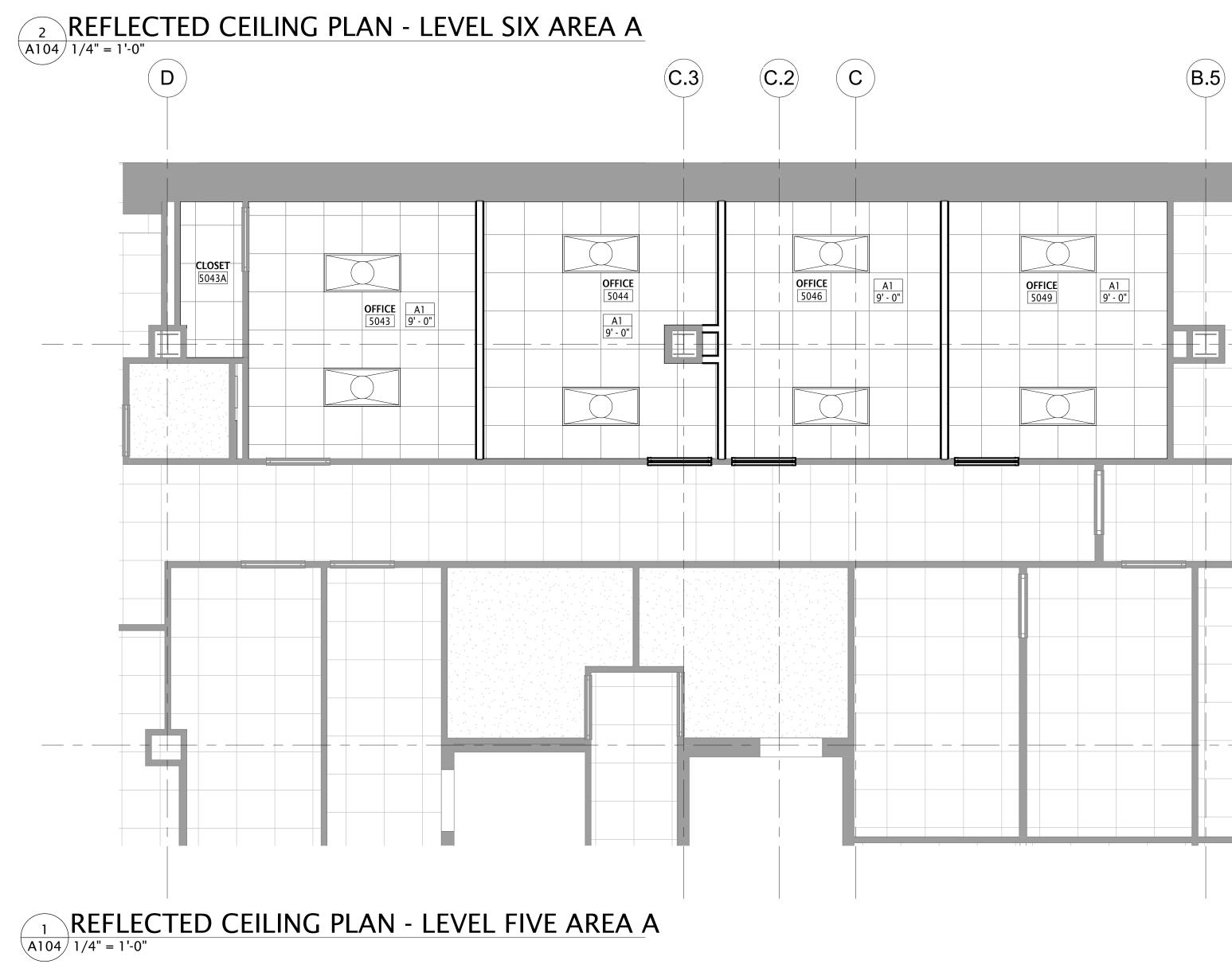




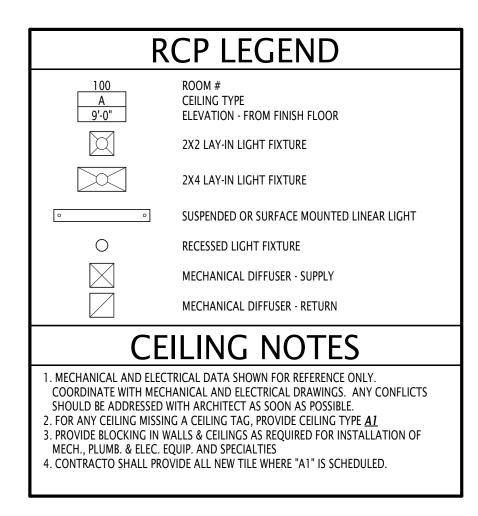


KEYPLAN











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CONSTRUCTION DOCUMENTS

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

401 W Belknap St, Fort Worth, TX 76196

TARRANT COUNTY FACILITIES MANAGEMENT

100 W. WEATHERFORD ST, FORT WORTH, TX 76196

OWNER PROJECT NO.: GSBS PROJECT NO.: ISSUED DATE:

2017.108.09 11/15/2022

**5TH AND 6TH REFLECTED CEILING PLANS** 

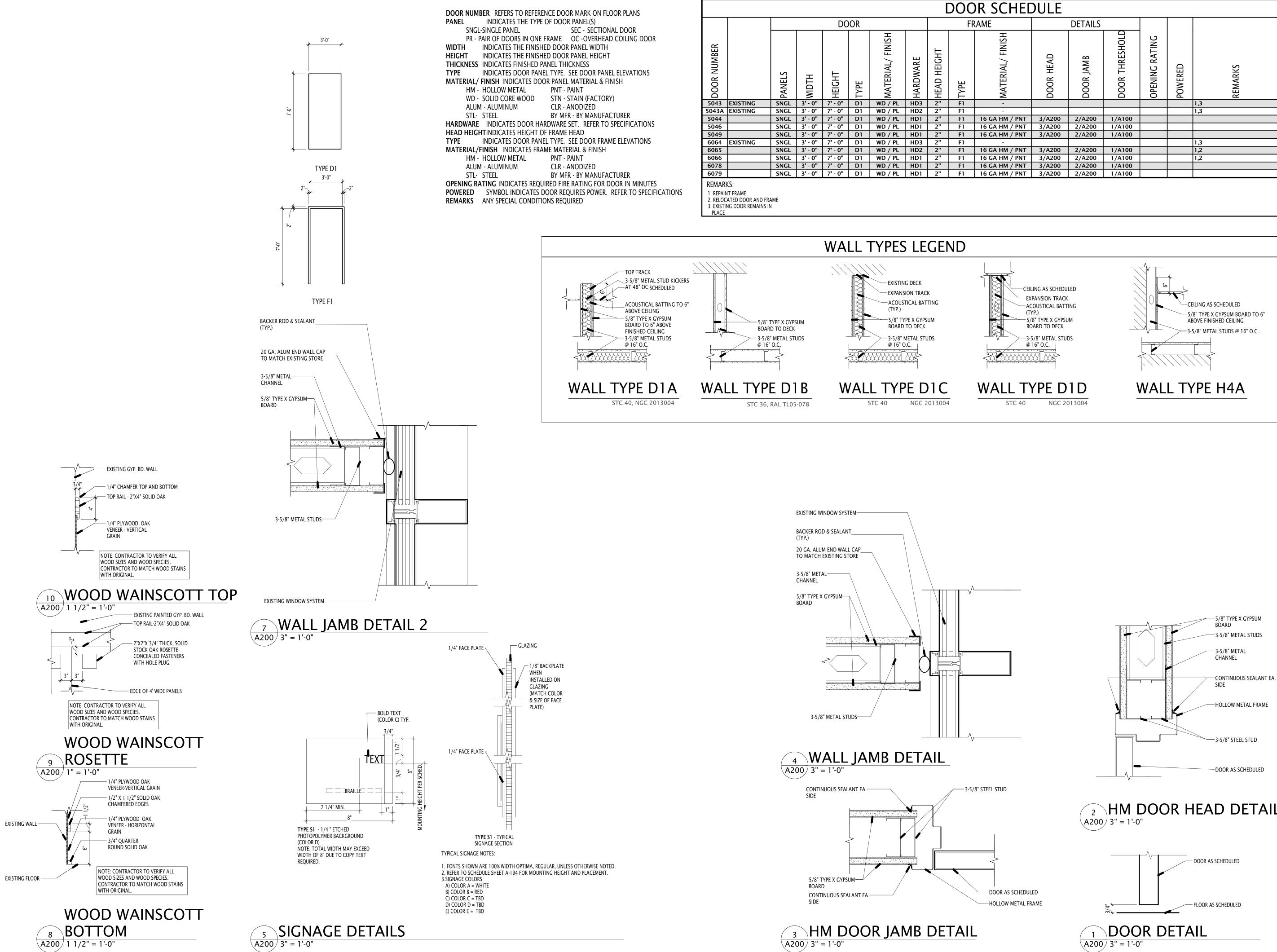




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				DC	OR				FR	RAME
DOOR NUMBER		PANELS	WIDTH	НЕІСНТ	ТҮРЕ	MATERIAL/ FINISH	HARDWARE	HEAD HEIGHT	ТҮРЕ	MATERIAL/ FINISH
5043	EXISTING	SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD3	2"	F1	-
5043A	EXISTING	SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD2	2"	F1	-
5044		SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD1	2"	F1	16 GA HM /
5046		SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD1	2"	F1	16 GA HM /
5049		SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD1	2"	F1	16 GA HM /
6064	EXISTING	SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD3	2"	F1	-
6065		SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD2	2"	F1	16 GA HM /
6066		SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD1	2"	F1	16 GA HM /
6078		SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD1	2"	F1	16 GA HM /
6079		SNGL	3' - 0"	7' - 0"	D1	WD / PL	HD1	2"	F1	16 GA HM /



# **INTERIOR DETAILS AND** DOOR SCHEDULE

76196 OWNER PROJECT NO .: **GSBS PROJECT NO.:** ISSUED DATE:

2017.108.09

11/15/2022

100 W. WEATHERFORD ST, FORT WORTH, TX

TARRANT COUNTY **FACILITIES MANAGEMENT** 

401 W Belknap St, Fort Worth, TX 76196

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

# CONSTRUCTION DOCUMENTS











901 W. VICKERY BLVD, SUITE 100

FORT WORTH, TX 76104

P 817.589.1722

ARCHITECTS

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5043

5043A

5044

5046

5049

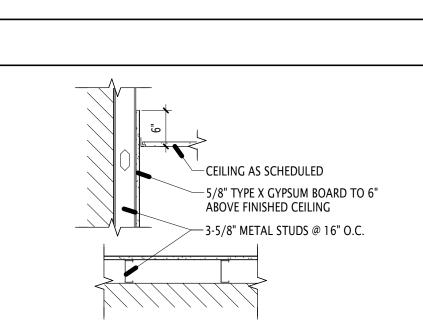
6064

6065

6066

6078

6079



HM DOOR HEAD DETAIL

#### **DIVISION 01 – GENERAL REQUIREMENTS**

<u>011000 Summary of Work:</u> Work consists of remodel of occupied portions of the building on floor levels 5 and 6 for the purpose remodeling office areas for Judges and Magistrates and of installing and/or reworking existing security access points on the levels noted.

Completion of work on level 6 is a priority over level 5 for the contractor.

Each area of designated Work is currently occupied and will remain occupied during the

construction period. Work for this contract will occur outside the normal operating business hours of 6:00 am to 6:00 pm.

The construction excludes site work, exterior building shell or upgrade of mechanical systems at this location. Work this contract is not governed by 2015 International Energy Code.

Standards and Regulations: The Contractor shall abide by all state and local standards, codes, agencies, and organizations respective to that Contractor's trade and as referred to in the Contract Documents. The facility shall meet the requirements of the Texas Accessibility Standards, (TAS).

Refer to Owner Work per section 013100.

#### 012500 Substitution Procedures:

Architect will consider written requests for substitutions submitted in accordance with scheduling and budget restrictions. Use CSI Form 13.1A format or equivalent. Provide detailed comparison of significant qualities of proposed substitution with those of the Work specified. Substitutions are to be submitted to Tarrant County Purchasing, reference Volume 1 – Bidding Documents for process.

#### 013100 Project Management and Coordination:

Construction Schedule (During and Outside of Normal Business Hours): Normal business hours are 6:00 am to 6:00 pm Monday through Friday

- Perform all work this contract to be outside of normal business hours (after hours). Non-normal
- business hours (after hours) are Monday through Friday 6:01 pm through 5:59 am and weekends.
- Court proceedings are held in this building and NO disruption will be allowed during normal

business hours. Occasionally, Court sessions will be planned beyond normal business operating hours. Disruption of the facility operations is not limited to the Work associated on a single floor if the transmission or vibration of the noise is transmitted to other occupied floors. Required egress shall be maintained at all times.

Owner Provided work: Owner shall conduct the following work to be coordinated by the contractor:

#### Test and Balance for mechanical systems

2. I.T. data drops into designated locations on the electrical sheets. (J-box and conduit for I.T. drops shall be by Division 26, Electrical)

Preconstruction Conference: Schedule and conduct a preconstruction conference before starting construction, at a time convenient to Owner and Architect, but no later than 15 days after the Purchasing Pre-Construction Meeting where the Notice to Proceed is provided to Consultant. Contractor is responsible for the agenda and minutes of all construction related meetings.

Contractor shall employ a fully dedicated on-site Superintendent for the duration of construction of the Work.

Prepare a written summary identifying individuals or firms proposed for each portion of the Work, including those who are to furnish products or equipment fabricated to a special design. Within 15 days of notice to proceed (NTP), submit a list of key personnel assignments, including superintendent and other personnel in attendance at Project site. Identify individuals and their duties and

responsibilities; list addresses and telephone numbers, including home, office, and cellular telephone numbers and e-mail addresses. Immediately on discovery of the need for additional information or interpretation of the Contract Documents, Contractor shall prepare and submit an RFI in the form specified.

Schedule and conduct a preconstruction conference before starting construction, at a time convenient to Owner and Architect, but no later than 15 days after execution of the Agreement.

Schedule and conduct a project closeout conference, at a time convenient to Owner and Architect, but no later than 30 days prior to the scheduled date of Substantial Completion. Contractor will conduct progress meetings at weekly intervals, commensurate with Owner's schedule.

Permitting: Contractor shall be responsible for obtaining the building permit, inclusive of submittals made and fees paid to the City of Fort Worth in securing all aspects of the permit for construction of the Work as described this Contract. Owner shall secure the TAS plan review and building inspection.

Structural Modifications: Structural modifications are not anticipated on this project, however if Contractor encounters conditions requiring structural modifications, the Contractor shall bring to the attention of Owner and Architect for Owner's engagement of Structural Engineer as required.

#### 013300 Submittal Procedures:

After contractor has been awarded a contract and in the execution of the project, a need for substitution is realized, the contractor shall provide substitution requests per section 012500. Shop drawing submittals will be required for products being considered for substitution, showing

originally specified products and those seeking approval. Shop drawing submittals will be required where coordination work must be accomplished to implement the Work.

Submit electronic submittals via email as PDF electronic files directly to Architect's specified FTP site specifically established for Project. There is no cost to utilize the Architect's specified FTP site during construction duration.

Each submittal shall consist of one single compiled PDF file numbered, complete with the appropriate submittal number, followed by CSI section number followed by a unique series number

indicating the sequence of submittals under this particular CSI section. The contractor must review, sign and stamp the submittal prior to forwarding to the architect for review.

Architect's Digital Data Files: Electronic digital data files of the Contract Drawings will be provided by Architect for Contractor's use in preparing submittals upon executed licensing agreement. Digital Drawing Software Program: The Contract Drawings are available in AutoCad V2020

Coordinate preparation and processing of submittals with performance of construction activities. Allow 14 calendar days for initial review of each submittal. Allow additional time if coordination with subsequent submittals is required. Assemble complete submittal package into a single bookmarked file incorporating submittal requirements of a single Specification Section and transmittal form with links enabling navigation to each item.

<u>015000 Temporary Facilities and Controls:</u> Contractor shall provide sanitary facilities required during construction, separate from current building facilities. Owner shall provide standard power and water utilities required during construction.

Contractor shall provide for unencumbered emergency egress and access for all areas under construction and shall not block required exiting from the occupied building during occupied hours.

Contractor shall provide full dust control measures for adjacent spaces under construction to include spaces with temporary barriers/partitions and closing and sealing of existing ductwork as required. Disruption of utilities shall be minimal and shall be scheduled 72 hours in advance with building maintenance.

Testing of newly installed systems, if disruptive to the occupied building, shall be scheduled during after normal hours and shall be scheduled 72 hours in advance with building maintenance. Schedule and coordinate after-hours testing with the testing authority.

Temporary control areas shall be established into the remainder of the occupied building. Contractor shall provide daily cleaning in areas disturbed outside the construction zone established on second floor, northwest corner of the existing facility.

017000 Close-Out Procedures: At Substantial Completion, the Contractor will provide a maintenance manual for all building systems, installed components and warranty the work – labor and materials – for a twelve month period or as other stipulated in the construction documents for specific warranties. Complete the following a minimum of 10 days prior to requesting inspection for determining date of Substantial Completion: 1. Certificates of Release, including occupancy permits, operating certificates,

and similar releases; 2. Submit closeout submittals; 3. Submit maintenance material submittals; 4. Submit

test/adjust/balance records; 5. Submit changeover information related to Owner's occupancy, use, operation, and maintenance.

Record Documents: The Contractor shall maintain dimensioned record documents indicating any changes or additions to the work and locating all new and existing concealed utilities. The As-Built documents shall be provided to the Owner at Substantial Completion subject to review by the architect/owner and revisions by the contractor.

Warranties: Provide warranties and guaranties as required by the contract documents. Under no circumstance shall warranties be less than 1 year from substantial completion.

Complete and Full Installation: Include all accessories and incidental components, etc, as required for complete and operational installation of components of the Work as defined in the Contract Documents. Each product in the Contract Documents is intended to be complete and operational whether incidentals are shown/scheduled or not.

Handling of Construction Materials: Include receiving, unloading and handling of all materials and equipment required for the performance of this Work. Store materials and equipment at the site in such a manner as to prevent theft and damage. Coordinate all deliveries in advance with General Contractor's on-site superintendent, subject to Owner's maintenance personnel scheduling. Subcontractor shall provide for any traffic control required for this work. Acknowledge limitations of owner's elevator for movement of materials and provide appropriate protection to avoid damage to existing finish materials in movement of construction related materials. Contractor shall be aware that the building interior has no storage or staging areas except for the immediate area where Work is performed.

Contractor shall employ adequate protection measures of existing finish materials (walls and floors) for all movement of construction materials and construction debris. Contractor will be responsible for damaged existing materials and shall document and file with owner, the existing conditions appropriately. Movement of construction materials and construction debris shall not be done during normal business hours.

Quality Control: Provide a quality control system and perform control measures, which ensure that the work conforms to the contract requirements. Subcontractor shall submit quality control program for all manufacturers, vendors and subcontractors prior to start of any fabrication.

017419 Construction Waste Management and Disposal: Conduct waste management operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Contractor shall provide dedicated dumpster for the Work and remove waste materials from Owner's property and legally dispose of them. Contractor is responsible for all construction debris disposal. Site location will be provided for contractor's dumpster.

<u>017423 Cleaning</u>: Include daily clean up and removal of the subcontractor's trash and debris to a dumpster at grade. All debris is to be segregated as required for proper disposal. Include daily removal of construction debris and temporary clean-up of floor, wall and ceilings occurring at construction locations.

#### **DIVISION 02 – EXISTING CONDITIONS**

<u>024119 - Selective Demolition</u>

Section Includes: Demolition and removal of selected portions of building, excluding structure. Detach items from existing construction, in a manner to prevent damage, when preparing for reuse, and reinstall where indicated.

Structural Demolition: If during construction, contractor deems necessary to demolish structure, such as floor slab, Owner shall employ measures to determine feasibility prior to proceeding. The contract documents contain no information allowing contractor ability to demolish structural components of the building.

Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work. If contractor does encounter potential hazardous materials, halt work and notify Owner immediately for direction

Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Maintain fire-protection facilities in service during selective demolition operations.

Existing Services/Systems to Be Removed, Relocated, or Abandoned: Locate, identify, disconnect, and seal or cap off utility services and mechanical/electrical systems serving areas to be selectively

Temporary Protection: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.

Temporary Shoring: Design, provide, and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Salvage of Materials: There is no requirement of material salvage for this project.

**DIVISION 03 – CONCRETE** Not in construction contract

**DIVISION 04 – MASONRY** 

Not in construction contract

**DIVISION 05 – METALS** Not in construction contract

#### **DIVISION 06 – WOOD, PLASTICS, AND COMPONENTS**

061000 Rough Carpentry: Includes, Wood blocking, Wood furring and grounds and Plywood backing panels whether shown or not on drawings. Provide where any substrate connections are needed for the attachment of accessories, etc. in construction.

Lumber: DOC PS 20 and applicable rules of grading agencies indicated. If no grading agency is indicated, provide lumber that complies with the applicable rules of any rules-writing agency certified by the ALSC Board of Review. Provide lumber graded by an agency certified by the ALSC Board of Review to inspect and grade lumber under the rules indicated. Factory mark each piece of lumber with grade stamp of grading agency. Provide dressed lumber, S4S, unless otherwise indicated.

Maximum Moisture Content of Lumber: 19 percent unless otherwise indicated. Where fire-retardant-treated materials are indicated or otherwise required by building type, use materials complying with requirements in this article, that are acceptable to authorities having jurisdiction, and with fire-test-response characteristics specified as determined by testing identical products per test method indicated by a qualified testing agency.

For items of dimension lumber size, provide Construction or No. 2 grade lumber.

#### **DIVISION 07 – THERMAL AND MOISTURE PROTECTION**

#### 072100 Insulation:

Section includes: Sound Attenuation Blankets installed in existing STC sound rated walls as determined in field. Walls receiving new access doors for wire pulls will require patch/replace of existing material where disturbed for new construction.

Sound-Attenuation Blankets: ASTM C 665, Type I (blankets without membrane facing) produced by combining thermosetting resins with mineral fibers manufactured from glass, slag wool, or rock wool. Minimum of 3.5" installation of sound-Attenuation Blankets, are scheduled for all new office and restroom walls.

Fire-Resistance-Rated Assemblies: Comply with mineral-fiber requirements of assembly. Installation: Comply with insulation manufacturer's written instructions applicable to products and applications. Install insulation that is undamaged, dry, and unsolled and that has not been left exposed to ice, rain, or snow at any time.

Inspect existing conditions for extent of existing installations of insulation and install new conditions to be continuation with existing conditions.

Fit tightly around obstructions and fill voids with insulation. Remove projections that interfere with placement. Provide sizes to fit applications and selected from manufacturer's standard thicknesses, widths, and lengths and matching existing conditions of existing insulation. Apply single layer of insulation units unless multiple layers are otherwise shown or required to make up total thickness of cavity or to achieve STC rating as specified.

Protect installed insulation from damage due to harmful weather exposures, physical abuse, and other causes. Provide temporary coverings or enclosures where insulation is subject to abuse and cannot be concealed and protected by permanent construction immediately after installation.

#### 078413 - Penetration Firestopping:

Section Includes: Penetrations in fire-resistance-rated walls, Penetrations in horizontal assemblies and Penetrations in smoke barriers. Product as required for new placement of required conduit runs through rated assemblies.

Provide penetration firestopping that is produced and installed to resist spread of fire according to requirements indicated, resist passage of smoke and other gases, and maintain original fire-resistance rating of construction penetrated. Penetration firestopping systems shall be compatible with one another, with the substrates forming openings, and with penetrating items if any.

#### 079200 Joint Sealants:

Standard Sealants: Interior joints shall be filled with acrylic latex(painted) or siliconized acrylic latex(non-painted), ASTM C 834, Type OP, Grade NF. Colors shall be as selected by Architect, to match adjacent surfaces and/or painted as required for matching purposes

Backer rod for sealer joints shall be Cylindrical Sealant Backings: ASTM C 1330, Type C (closed-cell material with a surface skin) complying with joint-sealant manufacturer for joint application indicated, and of size and density to control sealant depth and otherwise contribute to producing optimum sealant performance.

Five-year maintenance and guarantee on all caulking and sealants beyond one year warranty period.

#### **DIVISION 08 – OPENINGS**

(Refer to Architectural Drawings for additional information this Division)

081113 - Hollow Metal Doors and Frames: Existing Conditions: It is the intent to utilize existing door frames as scheduled for removal and reuse within the same building.

Architectural door frames shall be cold rolled hollow metal. Interior frames of 16 gauge steel Frames shall be one piece, fully welded. Apply manufacturer's standard, compatible primer immediately after cleaning and pre-treating.

Comply with ANSI/SDI A250.8. Final paint finishes per section 099123.

#### 081416 – Flush Wood Doors

Section Includes: Solid-core doors with Plastic-Laminate Faces. Existing Conditions: It is the intent to match existing conditions for the supply of solid core doors with plastic veneer faces. Package doors individually in cardboard cartons and wrap bundles of doors in plastic sheeting. Comply with AWI's, AWMAC's, and WI's "Architectural Woodwork Standards." WDMA I.S.1-A Performance Grade: Heavy Duty. Particleboard-Core Doors: ANSI A208.1, Grade LD-1, made with binder containing no urea-formaldehyde. Provide wood blocking in particleboard-core doors with 5-inch top-rail and bottom rail blocking. Interior Solid-Core Grade: Premium.

- Grade HGS.
- 3. Colors, Patterns, and Finishes: As indicated.
- faces.
- Core: Particleboard.

(Verification to be made on site by contractor for matching Plastic Laminate as noted on drawings.)

#### 083113 - Access Doors And Frames

Flush Access Doors with Concealed Flanges: Assembly Description: Fabricate door to fit flush to frame. Provide frame with beads for concealed flange installation. Locations: Wall locations as noted on plan for wire way access above doors.

Door Size: Size 12"x12".

Uncoated Steel Sheet for Door: Nominal 0.060 inch, 16 gage.

Finish: Factory prime, field painted. Metallic-Coated Steel Sheet for Door: Nominal 0.064 inch, 16 gage, for Locations in Wall

surfaces Fire rated where required) Frame Material: Same material and thickness as door.

> Hinges: Continuous. Hardware: Spanner head wrench.

#### 087100 - Door Hardware:

samples prior to materials ordering. Furnish finish hardware required to complete the work and/or as required for a complete and functional installation for designated opening. Door hardware shall match existing conditions in the building. Provide complete hardware components for specified door/lock function and applicable code requirements. Prepare Door Hardware sets by or under the supervision of Installer / Supplier, detailing fabrication and assembly of door hardware, as well as procedures and diagrams. Coordinate the final door hardware sets with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of door hardware. Prepare Proposed Keying Schedule under the supervision of Installer detailing Owner's final keying instructions for locks. Include schematic keying diagram and index each key set to unique door designations. Panic devices if not specifically scheduled but shall be provided where required by Life Safety Code.

All hardware and functions shall be in compliance with the following:

NFPA 80 – Standards for Fire Doors and Windows NFPA 70 – Electrified Door Hardware

NFPA 101 – Life Safety Code (Latest Edition)

Local authorities having jurisdiction.

Texas Accessibility Standards

Exit Devices: Two years from date of Substantial Completion. Closers: Five years from date of Substantial Completion

HINGES: Use concealed bearing or five-knuckle ball bearing hinges. Acceptable and Approved:

Bommer, Ives, Hager.

KEYING: All temp cores shall be construction Master Keyed. All Cylinders shall be removable core type furnished with keyed construction cores. A keying meeting shall be held with owner/architect prior to ordering any locks or cylinders. Contractor shall provide only construction cores, owner will provide final cores for the project. FINISHES:

Provide finishes complying with BHMA A156.18. New finish hardware shall match original building installations.

### STANDARD HARDWARE SETS

#### Typical Hardware notes:

Doors scheduled with hardware sets below shall be equipped with no less than the hardware as scheduled in the set. Hardware must meet Texas Accessibility Standards and current Life Safety and building code requirements. Permanent cores are by owner (match Owner's standard). Construction cores shall not be required on this project. Match existing hardware finish when installed in an existing condition/location.

Standard Hardware Set – 1: HD1							
	Doors: 5043, 50	44, 5046, 5049, 6066, 6078, 6079					
Qty	ltem	Description					

1 EA		
1 EA	LOCKSET	OFFICE LOCKSET
3 EA	HINGES	
1 EA	WALL STOP	
1 SET	SILENCERS	

Plastic-Laminate Faces: High-pressure decorative laminates complying with NEMA LD 3,

4. Exposed Vertical and Top Edges: Plastic laminate that matches faces, applied before

Construction: Three plies. Stiles and rails are bonded to core, then entire unit is abrasive planed before faces are applied. Faces are bonded to core using a hot press. Construction: Five plies. Stiles and rails are bonded to core, then entire unit is abrasive planed before faces and crossbands are applied. Faces are bonded to core using a hot press. 8. WDMA I.S.1-A Performance Grade: Heavy Duty.

It is the intent to match existing conditions for the supply of door hardware on the project. Submit

Warranty Period: One year from date of Substantial Completion, except as follows:

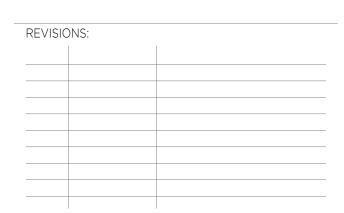
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# CONSTRUCTION DOCUMENTS

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

401 W Belknap St, Fort Worth, TX 76196

**TARRANT COUNTY** FACILITIES MANAGEMENT

100 W. WEATHERFORD ST, FORT WORTH, TX 76196

**OWNER PROJECT NO.: GSBS PROJECT NO.: ISSUED DATE:** 

2017.108.09 11/15/2022

**SPECIFICATIONS** 



Standard Hardware Set – 2: HD2 (PASSAGE SET)

	Doors: 5043A, 6065				
Qty	ltem	Description	Part No.		Manuf.
1 EA	LOCKSET	PASSAGE LOCKSET	L9010	626	SCH
3 EA	HINGES		5BB1 4.5" X 4.5"	652	IVES
1 EA	WALL STOP		WS407CCV	626	IVES
1 SET	SILENCERS		SR64-GRY		IVES
Standard	<u>d Hardware Set – 3: HD3 (HAND</u>	LE CHANGE)			
	Doors: 5043, 6064				
Qty	ltem	Description	Part No.		Manuf.
1 EA	LEVER HANDLE	LEVER HANDLE FOR EXISTING MORTISE LOCK	06	626	SCH
	IER HARDWARE TO REMAIN	MATCHING ROSETTE AS REQUIRED			

#### **DIVISION 09 – FINISHES**

092216 - Non-Structural Metal Framing

Section Includes: Non-load-bearing steel framing systems for interior gypsum board assemblies; Suspension systems for interior gypsum ceilings and soffits.

Fire-Test-Response Characteristics: Provide materials and construction identical to those tested according to ASTM E 119. STC-Rated Assemblies: Provide materials and construction identical to those tested in assembly

indicated according to ASTM E 90 and classified according to ASTM E 413. Steel Studs and Runners: ASTM C 645. Use either steel studs and runners or dimpled steel studs and runners of equivalent minimum base-metal thickness. Minimum Base-Metal Thickness: 0.027 inch.

Deflection Track: Steel sheet top runner manufactured to prevent cracking of finishes due to deflection of structure above. Provide at connections to structure and decking above built walls. Flat Strap and Backing Plate: Steel sheet for blocking and bracing; Minimum Base-Metal

Thickness: 0.018 inch. Provide adequate blocking for all surface attachments of finish materials scheduled in the construction documents.

Cold-Rolled Channel Bridging: Steel, 0.053-inch minimum base-metal thickness, with minimum 1/2-inch wide flanges; Depth: 1-1/2 inches. Hat-Shaped, Rigid Furring Channels: ASTM C 645; Minimum Base-Metal Thickness: 0.018

inch; Depth: 7/8 inch or as required. Suspension Systems: Tie Wire: ASTM A 641/A 641M, Class 1 zinc coating, soft temper, 0.062inch diameter wire, or double strand of 0.048-inch diameter wire. Wire Hangers: ASTM A 641/A 641M, Class 1 zinc coating, soft temper, 0.16 inch in diameter. Carrying Channels: Cold-rolled, commercialsteel sheet with a base-metal thickness of 0.053 inch and minimum 1/2-inch wide flanges.

Furring Channels (Furring Members): Cold-Rolled Channels: 0.053-inch uncoated-steel thickness, with minimum 1/2-inch wide flanges, 3/4 inch deep. Steel Studs and Runners: ASTM C 645. Use either steel studs and runners or dimpled steel studs and runners of equivalent minimum base-metal thickness; Minimum Base-Metal Thickness: 0.027 inch. Hat-Shaped, Rigid Furring Channels: ASTM C 645, 7/8 inch deep; Minimum Base-Metal Thickness: 0.018 inch.

Installation Tolerances: Install suspension systems that are level to within 1/8 inch in 12 feet measured lengthwise on each member that will receive finishes and transversely between parallel members that will receive finishes.

092900 - Gypsum Board

Section Includes: Interior gypsum board

Fire-Resistance-Rated Assemblies: For fire-resistance-rated assemblies, provide materials and construction identical to those tested in assembly indicated according to ASTM E 119 by an independent testing agency.

STC-Rated Assemblies: For STC-rated assemblies, provide materials and construction identical to those tested in assembly indicated according to ASTM E 90 and classified according to ASTM E 413 by an independent testing agency.

Gypsum Board, Type X: ASTM C 1396/C 1396M, Thickness: 5/8 inch, Long Edges: Tapered.

Moisture- and Mold-Resistant Gypsum Board: ASTM C 1396/C 1396M. With moisture- and mold-resistant core and paper surfaces; Core: 5/8 inch, Type X; Long Edges: Tapered; Mold Resistance: ASTM D 3273, score of 10 as rated according to ASTM D 3274.

Interior Trim: ASTM C 1047; Material: Galvanized or aluminum-coated steel sheet or rolled zinc.

Joint Treatment Materials: Comply with ASTM C 475/C 475M. Steel Drill Screws: ASTM C 1002, unless otherwise indicated.

Applying and Finishing Panels: Comply with ASTM C 840.

Non-Aggregate Finish: Pre-mixed, vinyl texture finish for spray application; Texture: Match existing walls in area of new construction.

Gypsum Board Finish Levels: Finish panels to levels indicated below and according to ASTM C 840: Level 1: Ceiling plenum areas, concealed areas, and where indicated.

Level 4: At panel surfaces that will be exposed to view unless otherwise indicated.

<u>095113 - Acoustical Panel Ceilings</u>

space.

Section includes acoustical panels and exposed suspension systems for existing ceiling conditions. Existing Conditions: Contractor shall match existing ceiling type and grid in the remodel areas of the project.

Surface-Burning Characteristics: Comply with ASTM E 84; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.

1. Flame-Spread Index: Comply with ASTM E 1264 for Class A materials.

Smoke-Developed Index: 50 or less.

Fire-Resistance Ratings: Comply with ASTM E 119; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency. Source Limitations: Obtain each type of acoustical ceiling panel and supporting suspension system

from single source from single manufacturer. Acoustical Panel Standard: Provide manufacturer's standard panels of configuration indicated that comply with ASTM E 1264 classifications as designated by types, patterns, acoustical ratings, and light

reflectances unless otherwise indicated. Ceiling Type A: Fissured, High Acoustics, High Texture, 24"x24"x3/4", Tegular Edge, White Standard(matching existing conditions). Integral color, Fire Rated where located in corridors. Treatment: Provide acoustical panels treated with manufacturer's standard antimicrobial formulation that inhibits fungus, mold, mildew, and gram-positive and gram-negative bacteria and showing no mold, mildew, or bacterial growth when tested according to ASTM D 3273 and evaluated according to ASTM D 3274 or ASTM G 21.

Metal Suspension-System Standard: Provide manufacturer's standard direct-hung metal suspension systems of types, structural classifications, and finishes indicated that comply with applicable requirements in ASTM C 635/C 635M.

Metal Suspension System: 15/16" Exposed Tee System, aluminum, White, Matching existing condition) Fire Rated where located in corridors.

Install edge moldings and trim of type indicated at perimeter of acoustical ceiling area and where necessary to conceal edges of acoustical panels.

Install acoustical panels with undamaged edges and fit accurately into suspension-system runners and edge moldings. Scribe and cut panels at borders and penetrations to provide a neat, precise fit. 1. Arrange directionally patterned acoustical panels as follows:

a. Install panels with pattern running in one direction parallel to long axis of

2. For reveal-edged panels on suspension-system runners, install panels with bottom of reveal in firm contact with top surface of runner flanges. 3. For reveal-edged panels on suspension-system members with box-shaped flanges,

install panels with reveal surfaces in firm contact with suspension-system surfaces and panel faces flush with bottom face of runners.

4. Paint cut edges of panel remaining exposed after installation; match color of exposed panel surfaces using coating recommended in writing for this purpose by acoustical panel manufacturer.

5. Protect lighting fixtures and air ducts to comply with requirements indicated for fire-resistance-rated assembly

Contractor shall remove existing tiles and store for reuse where conditions exist for reusable tiles. In the event enough savlagable tiles in good condition are not available, contractor shall substitute new tiles in like match. New tiles shall be in one uniform installation in a single line and not a checker-board arrangement when install is complete.

Moisture- and Mold-Resistant Gypsum Board: ASTM C 1396/C 1396M. With moisture- and mold-resistant core and paper surfaces; Core: 5/8 inch, Type X; Long Edges: Tapered; Mold Resistance: ASTM D 3273, score of 10 as rated according to ASTM D 3274.

Interior Trim: ASTM C 1047: Material: Galvanized or aluminum-coated steel sheet or rolled zinc

Joint Treatment Materials: Comply with ASTM C 475/C 475M. Steel Drill Screws: ASTM C 1002, unless otherwise indicated.

Applying and Finishing Panels: Comply with ASTM C 840.

Non-Aggregate Finish: Pre-mixed, vinyl texture finish for spray application; Texture: Match

existing walls in area of new construction. Gypsum Board Finish Levels: Finish panels to levels indicated below and according to ASTM C

840: Level 1: Ceiling plenum areas, concealed areas, and where indicated. Level 4: At panel surfaces that will be exposed to view unless otherwise indicated.

<u>095113 - Acoustical Panel Ceilings</u>

Section includes acoustical panels and exposed suspension systems for existing ceiling conditions. Existing Conditions: Contractor shall match existing ceiling type and grid in the remodel areas of the project.

Surface-Burning Characteristics: Comply with ASTM E 84; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.

Flame-Spread Index: Comply with ASTM E 1264 for Class A materials.

Smoke-Developed Index: 50 or less. Fire-Resistance Ratings: Comply with ASTM E 119; testing by a qualified testing agency. Identify products with appropriate markings of applicable testing agency.

Source Limitations: Obtain each type of acoustical ceiling panel and supporting suspension system from single source from single manufacturer.

Acoustical Panel Standard: Provide manufacturer's standard panels of configuration indicated that comply with ASTM E 1264 classifications as designated by types, patterns, acoustical ratings, and light reflectances unless otherwise indicated.

Ceiling Type A: Fissured, High Acoustics, High Texture, 24"x24"x3/4", Tegular Edge, White Standard(matching existing conditions). Integral color, Fire Rated where located in corridors. Treatment: Provide acoustical panels treated with manufacturer's standard antimicrobial formulation that inhibits fungus, mold, mildew, and gram-positive and gram-negative bacteria and showing no mold, mildew, or bacterial growth when tested according to ASTM D 3273 and evaluated according to ASTM D 3274 or ASTM G 21.

Metal Suspension-System Standard: Provide manufacturer's standard direct-hung metal suspension systems of types, structural classifications, and finishes indicated that comply with applicable requirements in ASTM C 635/C 635M.

Metal Suspension System: 15/16" Exposed Tee System, aluminum, White, Matching existing condition) Fire Rated where located in corridors.

Install edge moldings and trim of type indicated at perimeter of acoustical ceiling area and where necessary to conceal edges of acoustical panels.

Install acoustical panels with undamaged edges and fit accurately into suspension-system runners and edge moldings. Scribe and cut panels at borders and penetrations to provide a neat, precise fit. Arrange directionally patterned acoustical panels as follows:

Install panels with pattern running in one direction parallel to long axis of a. space.

For reveal-edged panels on suspension-system runners, install panels with bottom of reveal in firm contact with top surface of runner flanges. For reveal-edged panels on suspension-system members with box-shaped flanges,

install panels with reveal surfaces in firm contact with suspension-system surfaces and panel faces flush with bottom face of runners. 4

Paint cut edges of panel remaining exposed after installation; match color of exposed panel surfaces using coating recommended in writing for this purpose by acoustical panel manufacturer

Protect lighting fixtures and air ducts to comply with requirements indicated for fire-resistance-rated assembly

Contractor shall remove existing tiles and store for reuse where conditions exist for reusable tiles. In the event enough savlagable tiles in good condition are not available, contractor shall substitute new tiles in like match. New tiles shall be in one uniform installation in a single line and not a checker-board arrangement when install is complete.

#### 096513 - Resilient Base And Accessories Section Includes: Resilient base

Vinyl Base: Subject to compliance with requirements, provide product matching existing conditions in field; Cove Style: Recess Wall Base; Minimum Thickness: 0.125 inch; Height: 4 inches; Lengths: Cut lengths or coils in manufacturer's standard length; Outside Corners: Job formed; Inside

Corners: Job formed. Color shall match existing field conditions. Adhesives: Water-resistant type recommended by resilient-product manufacturer for resilient products and substrate conditions indicated.

#### <u>096813 - Tile Carpeting:</u>

Section includes modular carpet tile.

Existing Conditions: Contractor shall remove and store existing carpet tiles in immediate construction area. Existing carpet tiles shall be modified and reinstalled in same locations where trim areas are warranted. Otherwise the new construction areas receive new scheduled carpet per the drawings. If no carpet is scheduled for reuse in the finish schedule, provide new carpet as scheduled

New carpet installations are per finish schedule on drawings.

General Installation: Comply with CRI 104, Section 14, "Carpet Modules," and with carpet tile manufacturer's written installation instructions. Installation Method: Glue down; install every tile with full-spread, releasable, pressure-sensitive adhesive. Cut and fit carpet tile to butt tightly to vertical surfaces, permanent fixtures, and built-in furniture including cabinets, pipes, outlets, edgings, thresholds, and nosings. Bind or seal cut edges as recommended by carpet tile manufacturer. Extend carpet tile into toe spaces, door reveals, closets, open-bottomed obstructions, removable flanges, alcoves, and similar openings. Maintain reference markers, holes, and openings that are in place or marked for future cutting by repeating on finish flooring as marked on subfloor. Use nonpermanent, nonstaining marking device. Install pattern parallel to walls. Install carpet in same pattern existing in adjacent spaces. Do not fill seams of access flooring panels with carpet adhesive; keep seams free of adhesive. Clean incompatible adhesive from carpet tile faces and edges that remain from re-salvage method.

#### <u>099123 - Interior Painting:</u>

Section includes surface preparation and the application of paint systems on interior substrates of previously installed Steel and Gypsum Board. Listings are based on existing conditions. Contractor shall match existing paint colors as scheduled.

#### INTERIOR PAINTING SCHEDULE

- Gypsum Board Substrates: Gypsum Board Wall Standard
  - Alkyd System: (Tarrant County Painting Standard)
  - Prime Coat: ProMar 200, 0 VOC, Latex Wall Primer. Intermediate Coat: DTM Acrylic Coating.
- Topcoat: DTM Acrylic Coating, Match existing color of adjacent walls. Steel Substrates- bare metal:
  - Alkyd System (Sherwin Williams):
  - Prime Coat: DTM Acrylic Coating. a.
    - Topcoat: DTM Acrylic Coating matching existing frames.

#### **DIVISION 10 – SPECIALTIES**

101423 – Room-identification Panel signs.

Install signage matching existing conditions Accessibility Standard: Comply with applicable provisions in Texas Accessibility Standards (TAS) for signs.

Room-Identification Sign : Sign with smooth, uniform surfaces; with message and characters having uniform faces, sharp corners, and precisely formed lines and profiles; and as follows: 1. Laminated-Sheet Sign: 1/4" Photopolymer etched face sheet with raised graphics and 1/8" Photopolymer face accent sheets laminated over backing sheet to produce composite

a. Composite-Sheet Thickness: Manufacturer's standard for size of sign.

#### Color(s): As selected by Architect from manufacturer's full range.

Sign-Panel Perimeter: Finish edges smooth.

- Edge Condition: Beveled. Corner Condition in Elevation: Square, eased corners. b.
- Mounting: Surface mounted to wall with concealed anchors. Provide back-up plate and two face tape where attached to glazing.
- 4. Text and Typeface: Accessible raised characters and Braille typeface as selected by Architect from manufacturer's full range and variable content as scheduled Finish raised characters to contrast with background color, and finish Braille to match background color.

#### **DIVISION 12 – FURNISHINGS** Not in construction contract

**DIVISION 13 – SPECIAL CONSTRUCTION** 

Not in construction contract

**DIVISION 14 – CONVEYING EQUIPMENT** Not in construction contract

**DIVISION 22 – PLUMBING** 

Refer to Plumbing Drawings

**DIVISION 23 – HEATING VENTILATING AND AIR CONDITIONING** Refer to Mechanical Drawings

**DIVISION 26 – ELECTRICAL** 

Refer to Electrical Drawings

Not in construction contract

**DIVISION 28 – ELECTRONIC SAFETY AND SECURITY** 

**DIVISION 31 – EARTHWORK** 

Not in construction contract

**DIVISION 32 – EXTERIOR IMPROVEMENTS** Not in construction contract

**DIVISION 33 – UTILITIES** Not in construction contract



901 W. VICKERY BLVD, SUITE 100 FORT WORTH, TX 76104 P 817.589.1722

F 817.595.2916

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# CONSTRUCTION DOCUMENTS

TARRANT COUNTY 485TH CRIMINAL DISTRICT COURT

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TARRANT COUNTY FACILITIES MANAGEMENT

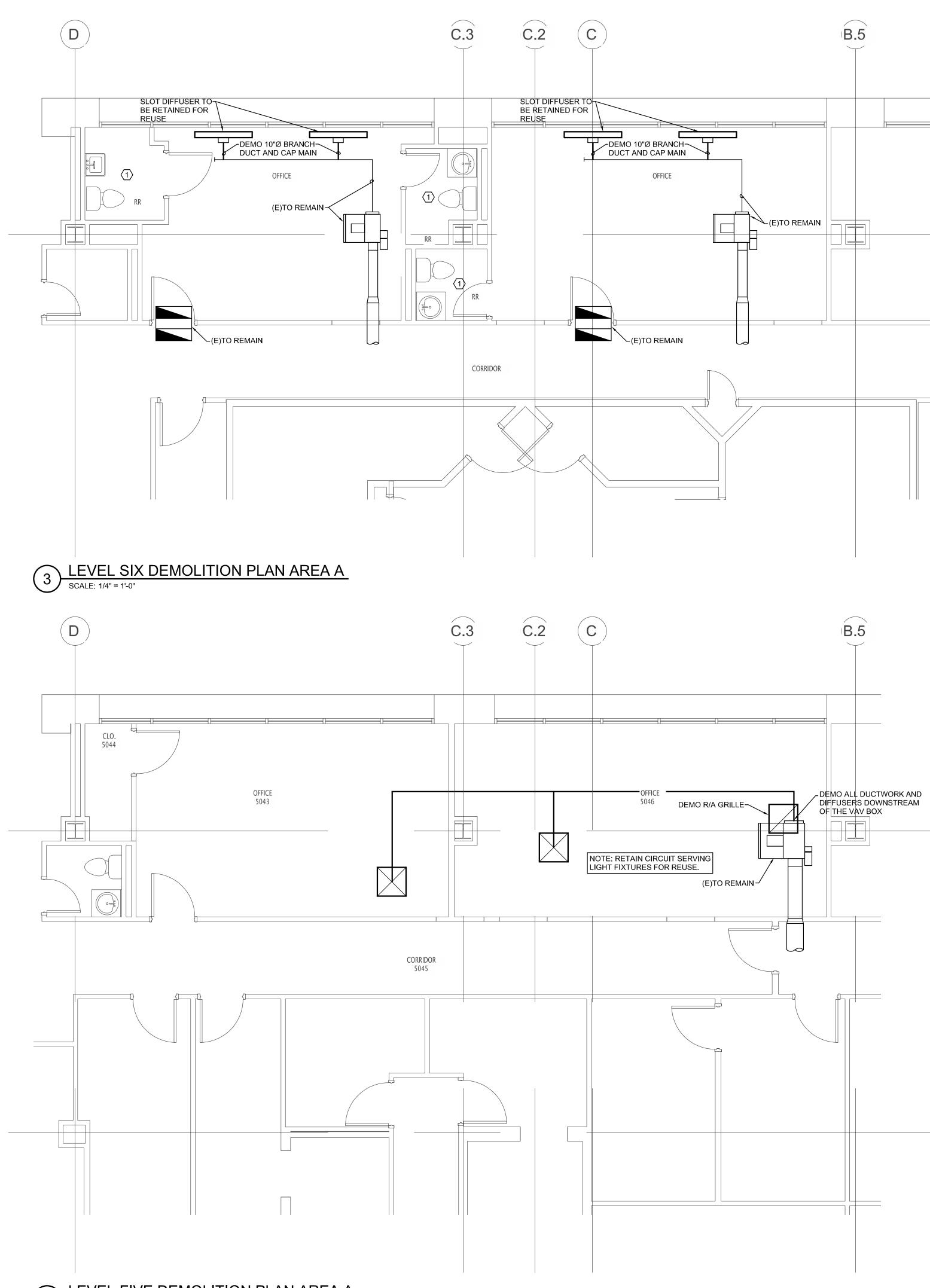
100 W. WEATHERFORD ST, FORT WORTH, TX 76196

**OWNER PROJECT NO.: GSBS PROJECT NO.: ISSUED DATE:** 

2017.108.09 11/15/2022

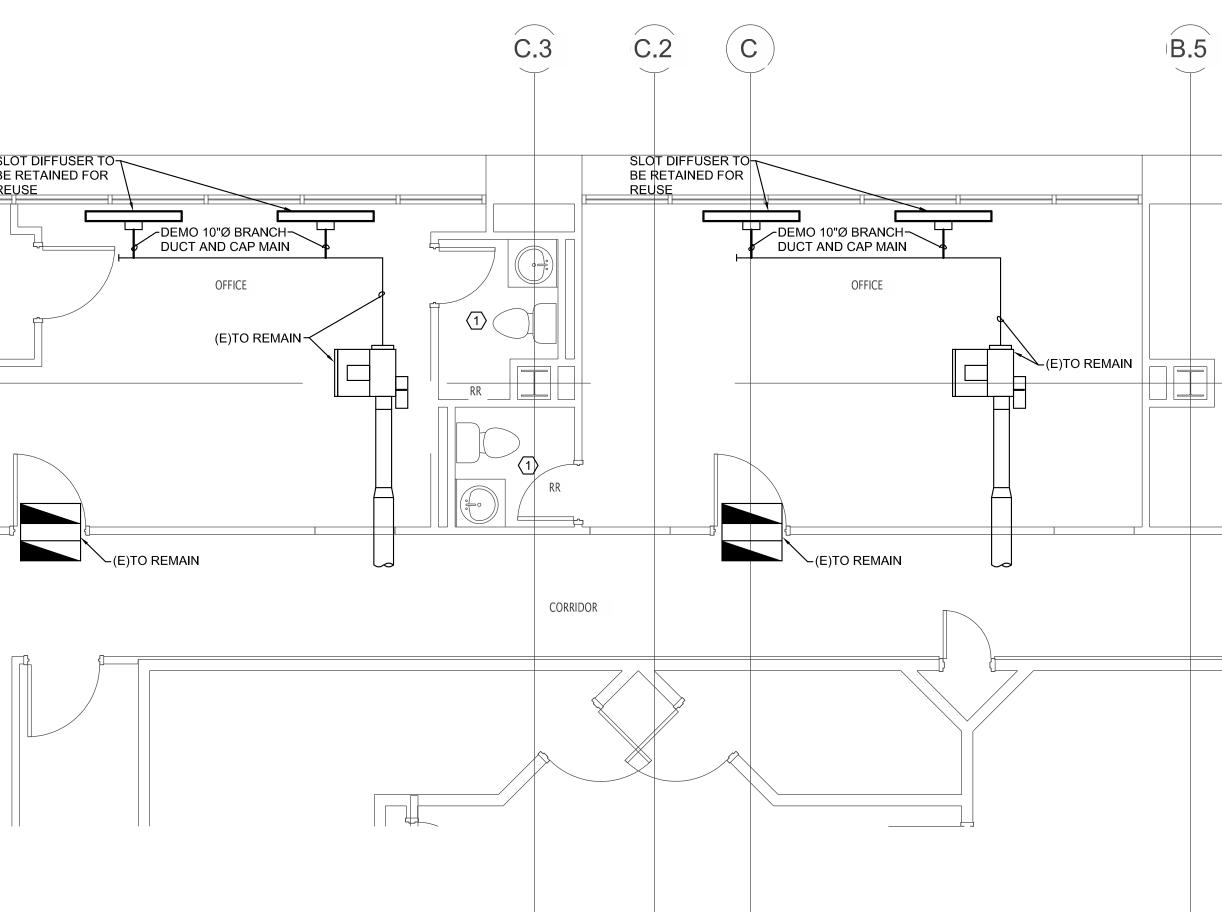
**SPECIFICATIONS** 





NOTES BY SYMBOL "(#)"

DEMOLISH EXHAUST DUCTWORK BACK TO MAIN AND CAP. SEAL AIR TIGHT AND INSULATE TO MATCH.



2 LEVEL FIVE DEMOLITION PLAN AREA A SCALE: 1/4" = 1'-0"

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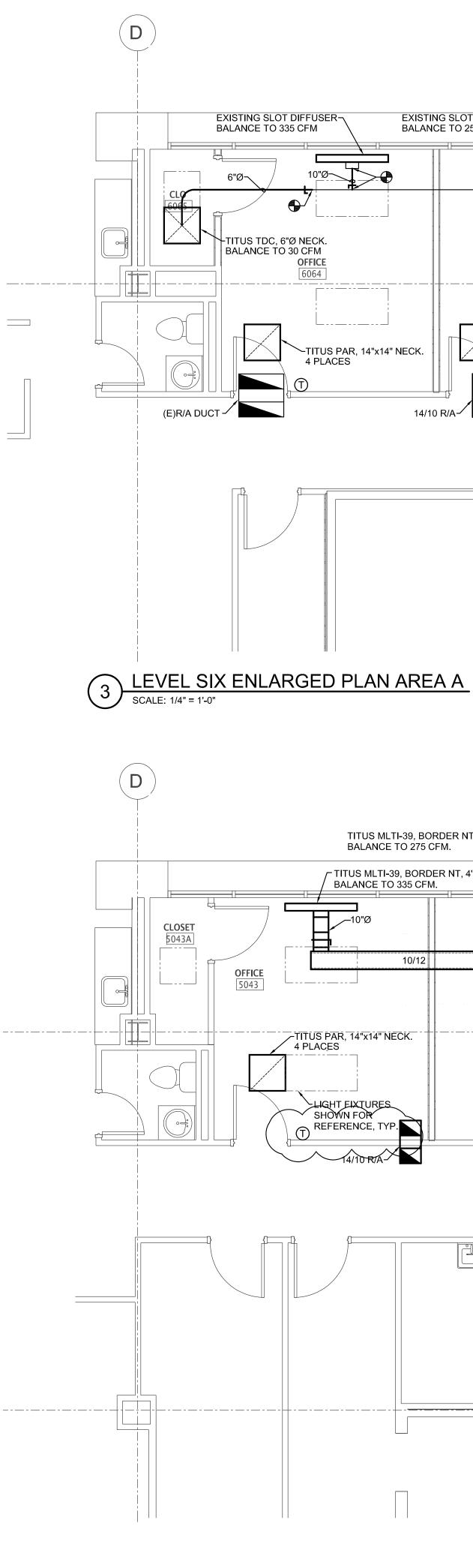
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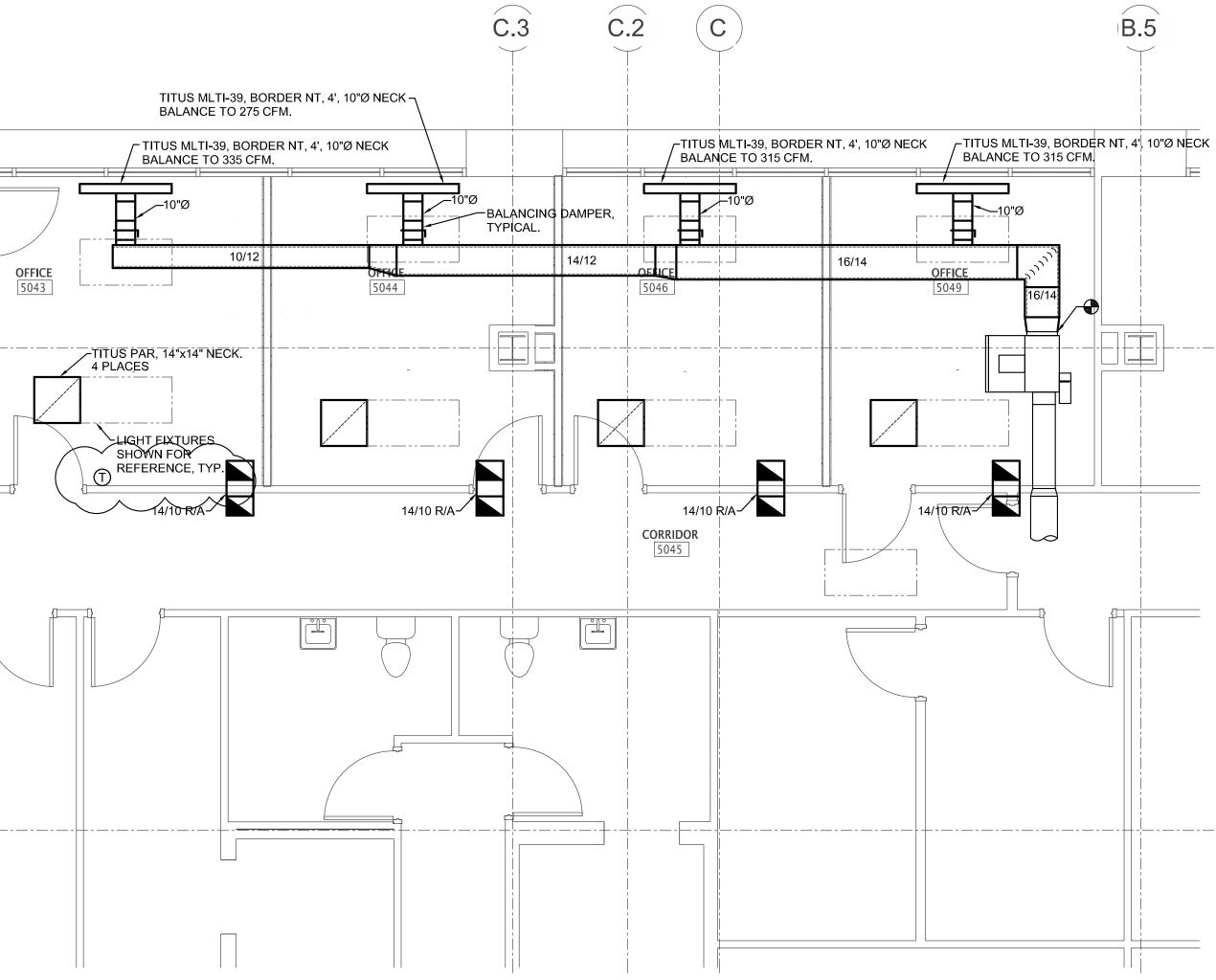
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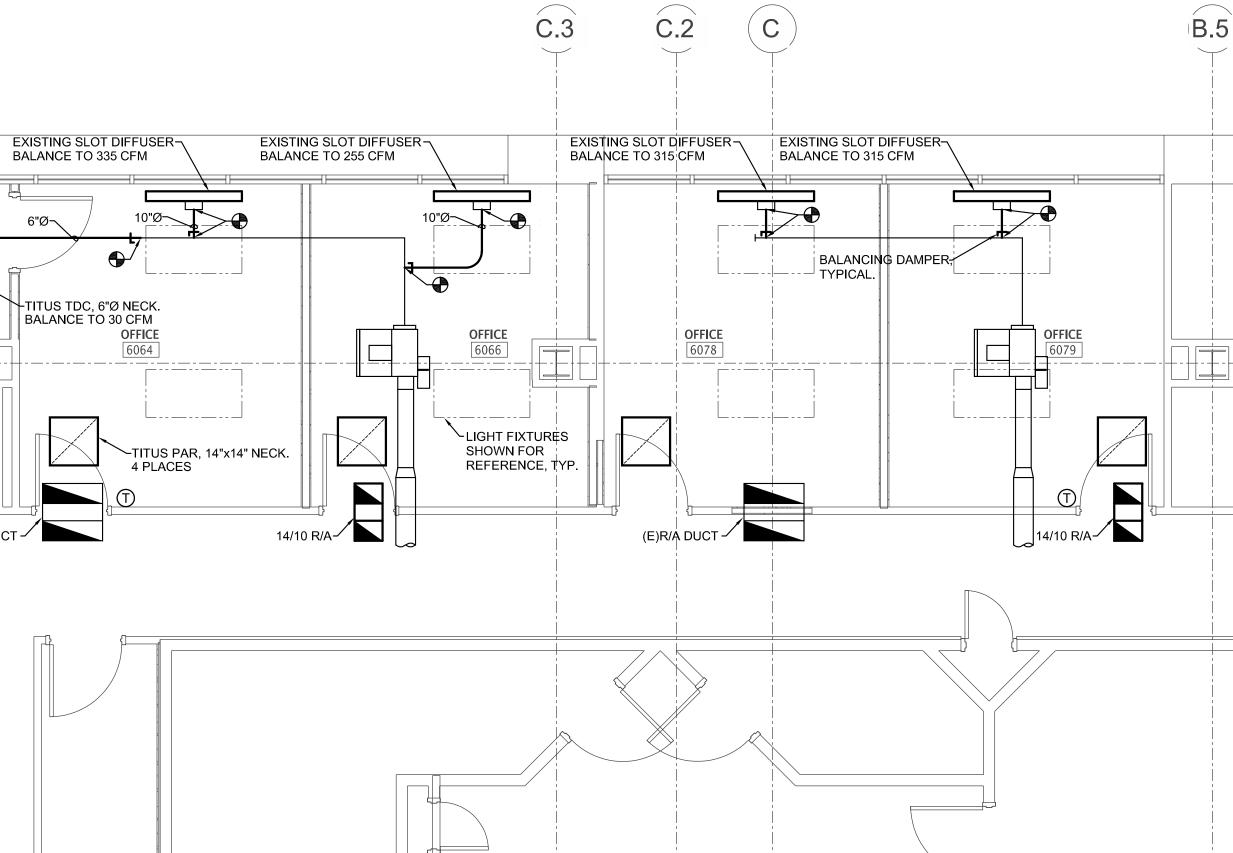
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# 2 LEVEL FIVE ENLARGED PLAN AREA A SCALE: 1/4" = 1'-0"







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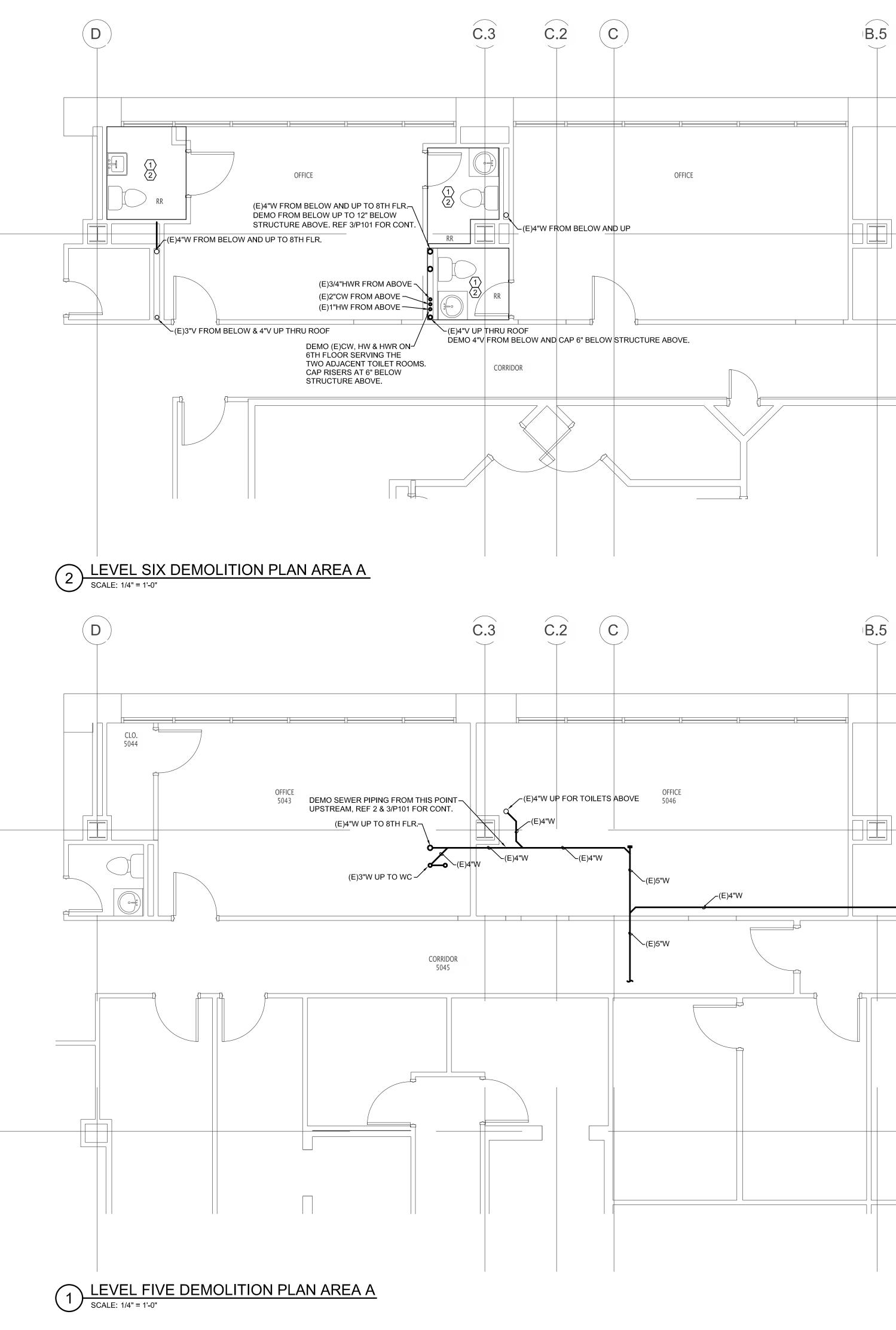
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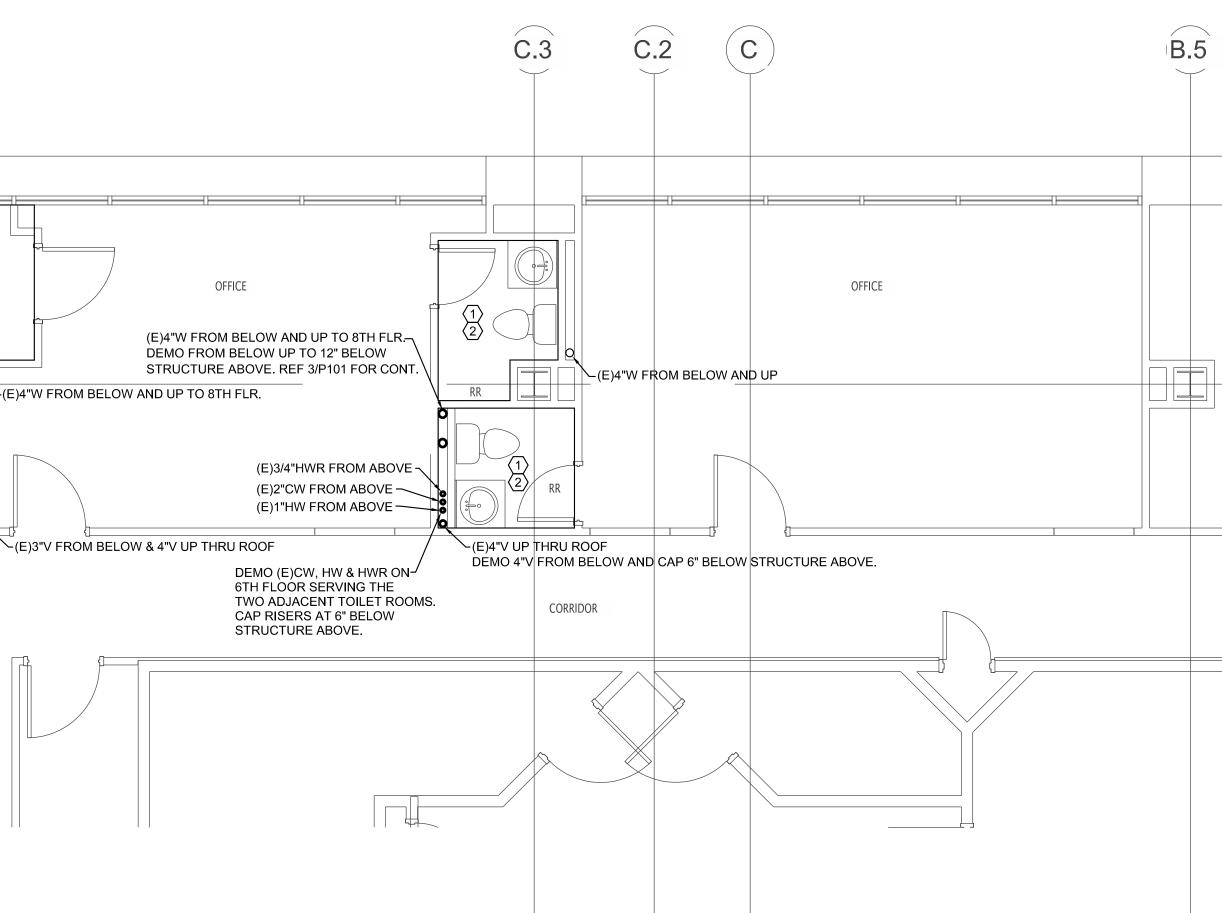
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5TH AND 6TH FLOOR PLANS

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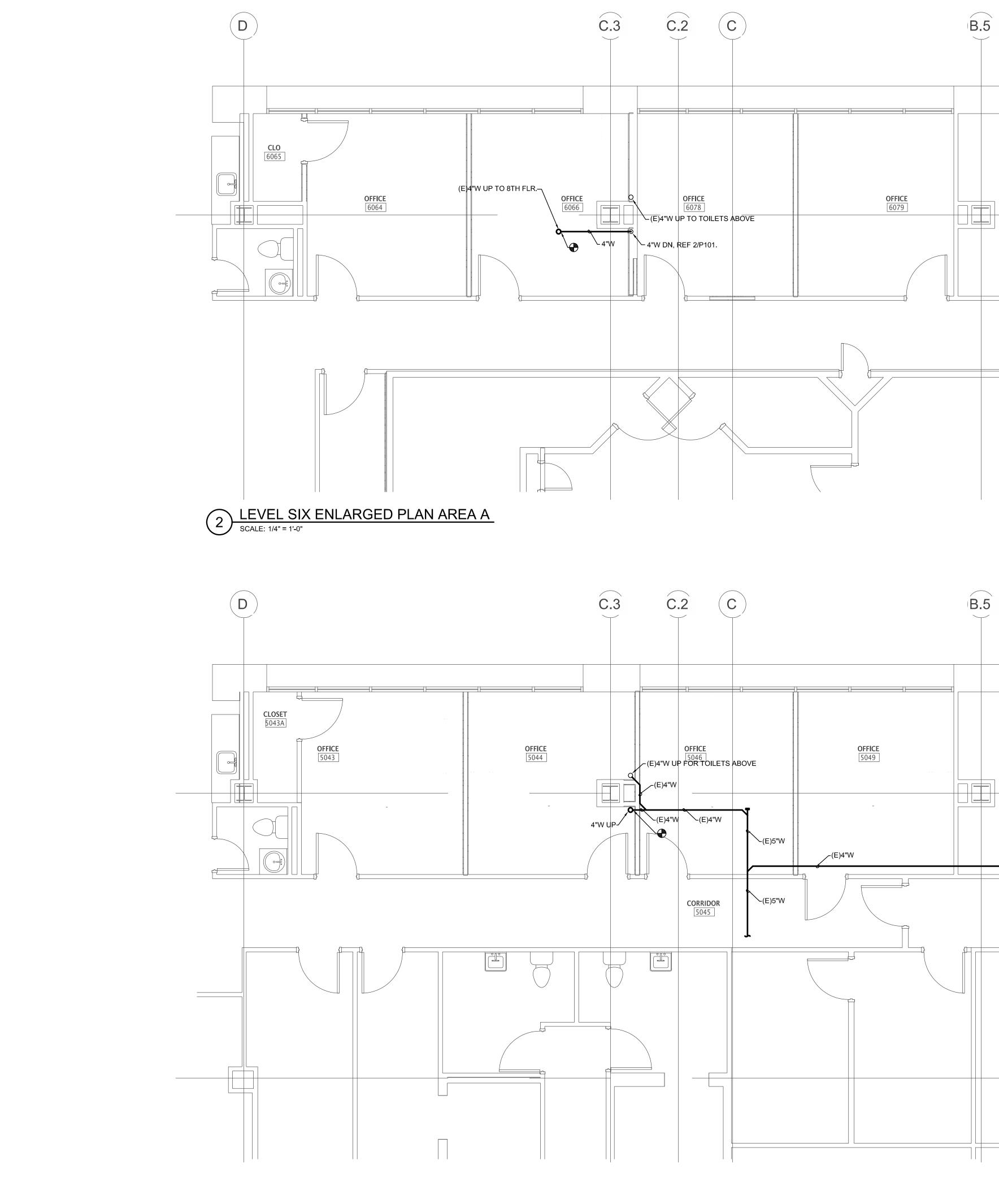
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1 LEVEL FIVE ENLARGED PLAN AREA A SCALE: 1/4" = 1'-0"



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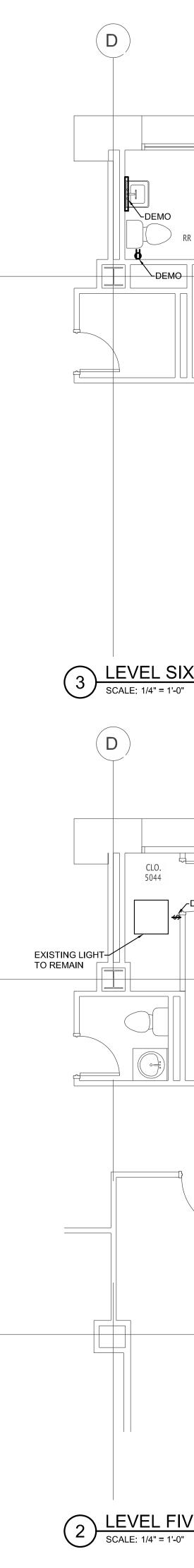
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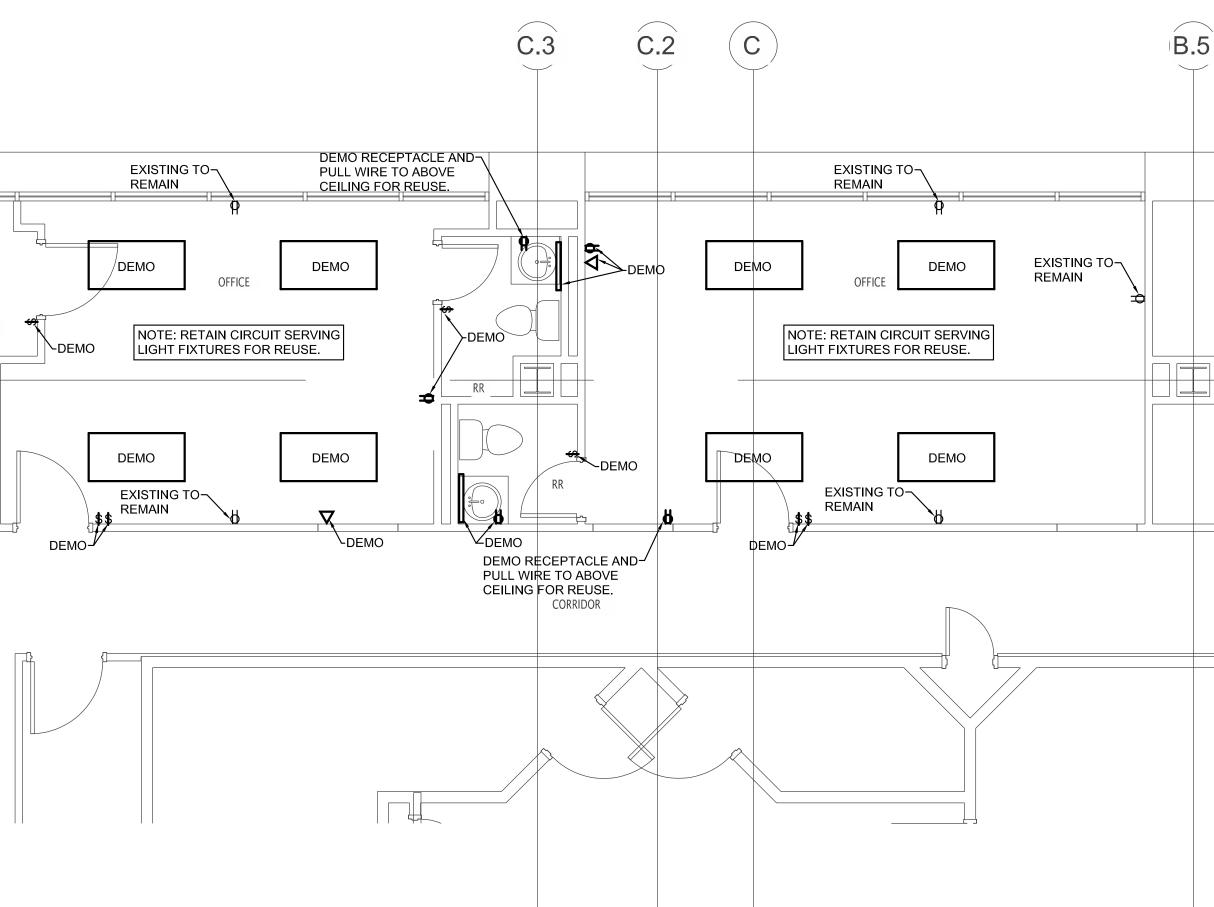
OWNER PROJECT NO .: GSBS PROJECT NO .: ISSUED DATE: 5TH AND 6TH FLOOR PLANS

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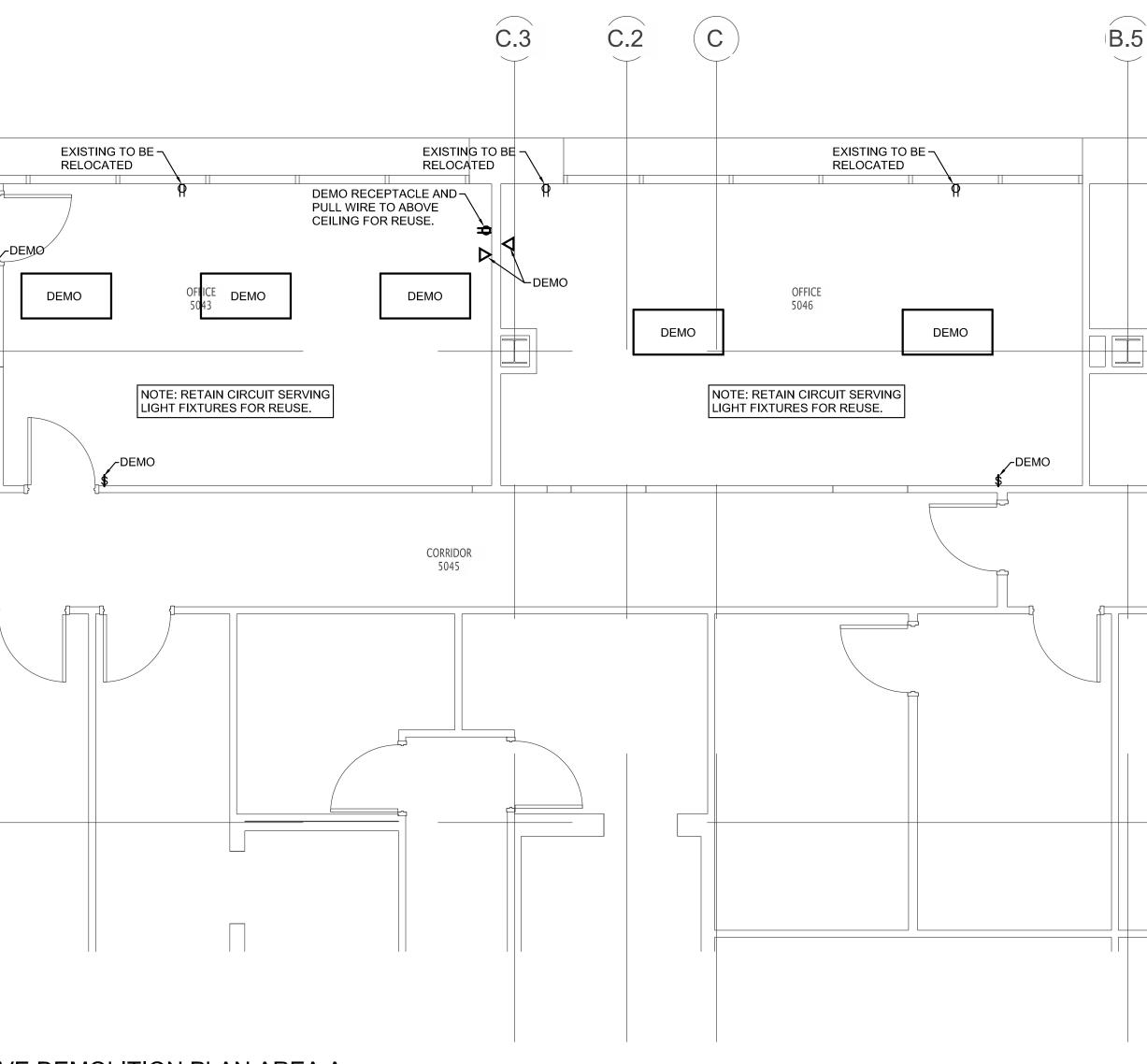
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# 3 LEVEL SIX DEMOLITION PLAN AREA A



# 2 LEVEL FIVE DEMOLITION PLAN AREA A SCALE: 1/4" = 1'-0"



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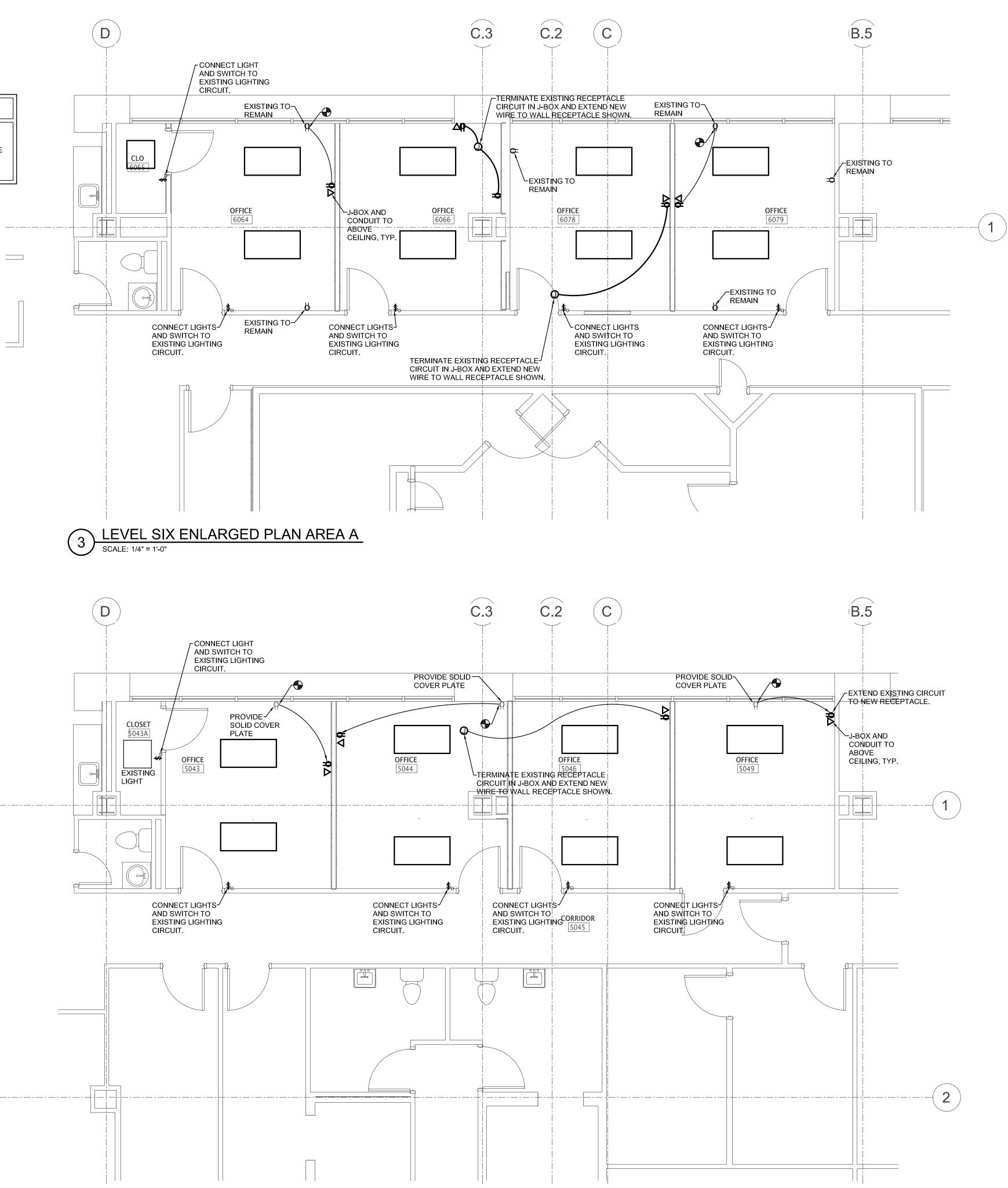
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# **GENERAL NOTES**

- INDICATES "CONNECT TO EXISTING".
- 2. ALL WIRE, UNLESS INDICATED OTHERWISE, SHALL BE 2#12,#12G, 1/2"C. MC CABLE WITH THE SAME WIRE SIZE IS ACCEPTABLE FOR CONNECTING RECEPTACLES IN WALLS.

2 LEVEL FIVE ENLARGED PLAN AREA A SCALE: 1/4" = 1'-0"

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