



TEXAS
HISTORICAL
COMMISSION

George W. Bush • Governor
John L. Nau, III • Chairman
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The State Agency for Historic Preservation

February 18, 1998

Frances Nifong
Mansfield Historical Society
P O Box 304
Mansfield TX 76063

Re: *McKnight Building/Knights of Pythias Lodge Hall
100 N. Main St., Mansfield, Tarrant County, Job #04798)*

Dear Ms. Nifong:

The members of the State Marker Review Board have completed their evaluation of the application for an Official Texas Historical Marker for the McKnight Building/Knights of Pythias Lodge Hall in San Marcos. I regret to inform you that they have voted against awarding the Recorded Texas Historic Landmark (RTHL) designation to this structure.

The agreement among the staff architectural historians and the Board members was that this building as it currently appears does not qualify for the designation. Of particular concern were the new windows, which were deemed inappropriate, and the missing corner pyramidal tower. Also a factor in the decision is that this application dealt with only one-half of a larger commercial building. In order to consider the building for RTHL designation, both sides would have to be restored in accordance with the Secretary of the Interior's Standards for Rehabilitation.

I'm sorry I can't give you a better report. Please note that the decisions of the State Marker Review Board are final, but if you wish to discuss the application, please let me know and I will either try to answer your questions or refer you to the architectural historians who conducted the review. The original application materials will be returned to you under separate cover.

Sincerely,

A handwritten signature in cursive script that reads "Cynthia J. Beeman".

Cynthia J. Beeman, Administrator
Official Texas Historical Markers
Local History Programs

c: ✓ George H. Hedrick
Joye K. Evetts
Beth Harrison Canright



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November 12, 1997

George H Hedrick, Chair
Tarrant CHC
5636 Blueridge Dr
Fort Worth, TX 76112

RE: MCKNIGHT BUILDING/KNIGHTS OF PYTHIAS HALL
Medallion and 16" X 12" plate wo/post
Job # 04798; Received: 10/22/97

Dear Mr. Hedrick:

We have received the above-referenced marker application. The application will be reviewed and evaluated by the Texas Historical Commission staff in the order in which it was received. Currently, there is about a 60 day wait between the time subject marker applications are received and evaluated. Should additional information be needed for the review, we will contact you and any parties listed below at that time. After any deficiencies have been corrected, we will send copies of the application to the members of the State Marker Review Board, who will make the final determination of the topic's acceptability for marking.

We will notify all parties as soon as the Board makes its decision. If the topic is approved for marking, payment will be requested at that time. If not approved, the application will be returned along with a letter of explanation.

Because of the variables involved in the marker process, and because we must coordinate our orders with the schedule of the contracting foundry, we suggest that the date of the marker dedication not be set until the completed marker is received.

We appreciate the effort made to record this topic. Should there be any questions about the status of this marker application, please contact me at 512/463-5853.

Sincerely,

Ronnie Kaase
Local History Programs

pc: Frances Nifong
Beth Harrison Canright
Joye K Evetts

George
The woman from the Mansfield
Historical Society called to say that
the address was wrong on their
application for a historical marker
for the McKnight Bldg. It should
be 100 North Main Street.
Thanks
Joye Evetts

October 16, 1997

Ms. Cynthia Beeman
Texas Historical Commission
P.O. Box 12276
Austin, TX 78711

Dear Cynthia:

Enclosed is an application for a Recorded Texas Historic Landmark Marker for the McKnight Building/Knights of Pythias Hall in Mansfield.

We are pleased to recommend this application.

Sincerely,

Joye K. Evetts
Marker Chairman
4400 Idledell Drive
Fort Worth, TX 76116
Phone: 817-244-1232
Fax: 817-244-1231

cc: Mr. George Hedrick, Chairman

SHIPPING INSTRUCTIONS

In order to facilitate delivery of the marker, neither post office box numbers nor rural route numbers can be accepted. If the marker is to be placed on the highway right-of-way, it will be shipped directly to the district highway engineer.

Name: Frances Nifong
Street address: 217 Cedar St. City Mansfield State TX Zip 76063
Phone: 817-473-4949

TYPE AND SIZE OF MARKER DESIRED (Please check one only.)

Subject Markers

This type of marker is solely educational in nature and conveys no legal restrictions to the property. Subject markers are appropriate for topics such as cemeteries, church congregations, businesses, persons, events, and institutions. These markers should not be attached to buildings. If the marker is to be attached to a surface other than the foundry-provided post, please provide the requested information in the space below.

- 16" x 12" grave marker (comes with mounting bar) \$250
- 27" x 42" marker with post \$850
- 27" x 42" marker without post (see below) \$800
- 18" x 28" marker with post \$550
- 18" x 28" marker without post (see below) \$500

If not on post, to what (block of granite, gatepost, etc.) will the marker be attached? _____
Type of material? (wood, stone, etc.) _____

Recorded Texas Historic Landmark Markers

Markers conveying the Recorded Texas Historic Landmark (RTHL) designation are reserved solely for historic structures deemed worthy of preservation for their architectural integrity and historical associations. The RTHL designation does carry a measure of legal protection for the structure (see Marker Policies 13 through 18) and for that reason we must have a legal description (lot and block numbers) for the property to be designated. The most commonly used marker for conveying this designation is the medallion and plate (also referred to as a building marker); however, the 18" x 28" or 27" x 42" size marker may be ordered for those who wish a greater amount of historical information to appear in the marker text. Careful attention should be paid so as not to damage historic building material if the marker is to be mounted directly onto the structure. The THC staff can provide alternate ideas for mounting upon request.

- Medallion and 16" x 12" plate with post \$400
- Medallion and 16" x 12" plate without post (see below) \$350
- 27" x 42" marker with post \$850
- 27" x 42" marker without post (see below) \$800
- 18" x 28" marker with post \$550
- 18" x 28" marker without post (see below) \$500

If not on post, to what (building, gate, etc.) will the marker be attached? Building
Type of material? (wood, stone, etc.) Brick

Legal description of property (lot and block number; metes and bounds):
City of Mansfield south half of block 1, lot 9 (25' x 100')

Before forwarding your material to the Texas Historical Commission, please check to make sure you've included the following items. Incomplete applications cannot be considered and may be returned to the applicant.

- ✓ completed application form signed by the county historical commission chair or marker committee chair
- ✓ narrative history with reference notes and bibliography
- ✓ photograph of the proposed marker location (do not use instant/Polaroid photos)
- ✓ map indicating marker location and other sites related to the marker topic
- ✓ historic photo of property and current photographs of all elevations (RTHL markers only)
- ✓ legal description of property (RTHL markers only)
- ✓ floor plans (RTHL markers only)
- ✓ site plan (RTHL markers only)

Mail completed applications to:
Local History Programs, Texas Historical Commission, P.O. Box 12276, Austin, Texas 78711-2276 512/463-5853

Additional items, including directional signs and replacement parts for 1936 markers, are available. Please contact the Local History Programs office for a separate order form.

McKNIGHT BUILDING/KNIGHTS OF PYTHIAS HALL

The McKnight Building/Knights of Pythias Hall is located at 100 North Main Street in Mansfield, Texas, on land that was a portion of an original Texas land grant of one-third of a league of land granted to early surveyor, Thos. J. Hanks, on February 2, 1838.¹ On May 20, 1853, Thos. Hanks, father of Thos. J. Hanks, sold the land to Wm. Simpson for \$1000.00.² On September 26, 1862, Thos. R. Burford, Ex. Wm. Simpson's estate, sold the property to Julian Feild, one of the founders of Mansfield, for \$3792.50.³ The legend is that Julian Feild's mercantile store was located on the site in 1860, but this fact could not be documented. On September 9, 1874, a portion of the land, block 1, lot 9; block 2, lots 2 and 3, and block 23, was sold at a Sheriff's sale by Julian Feild and a son-in-law, S. P. Morison, to Elanor L. Woodward for \$553.00.⁴ On January 21, 1884, the south half of block 1, lot 9 (25' x 100') was sold to A. J. Martin for \$200.00.⁵ On December 1, 1884, the lot was sold to A. J. Dukes and J. H. Wright for \$400.00.⁶

Dr. Wm. B. McKnight acquired the property in 1895. The purchase price of \$1000.00 suggests that a building was on the site.⁷ Dr. McKnight had the present brick building erected and in 1899 granted permission by deed and \$1.00 consideration to the Knights of Pythias Lodge No. 224 to construct a 25' x 60' space on the second level.⁸ Both architect and contractor are unknown. The building was built as the south unit of two 24 feet wide retail locations. The completed building, 48 feet total width by 80 feet 6 inches depth, had a fire wall from foundation up to an

18 inch height parapet dividing the two sides of the building for fire control and for lease purposes. It is not known whether Mr. McKnight or the Knights of Pythias participated in the construction or ownership of the attached 24 feet construction to their space, although it seems likely there was some cooperative agreement involved.⁹ It is assumed that ownership of the second story space occupied by the Knights of Pythias reverted back to Dr. Wm. B. McKnight after it surrendered its charter in 1919. On April 19, 1940, Wm. B. McKnight granted the property and building to James S. McKnight "for \$10.00 and love and affection."¹⁰ In 1986, James S. McKnight bequeathed the property to the City of Mansfield with the stipulation that the Mansfield Historical Society be allowed to occupy the mezzanine area for one hundred years for \$1.00 consideration.¹¹ In 1988, the City of Mansfield sold the building to the Mansfield Chamber of Commerce for \$10,000.00.¹² However, the deal was mutually rescinded, and in 1991, the City of Mansfield regained ownership.¹³ In 1997, the City of Mansfield sold the property to the Mansfield Historical Society for \$18,000.00.¹⁴ The Mansfield Historical Society maintains its office in the mezzanine area and is currently renovating the rest of the building with plans to open a museum in the first floor by 1999. The Society has retained Arthur Weinman as the architect and Tommy Presley as the contractor for the renovation and restoration. The exterior restoration is projected to be completed by the summer or fall of 1998. (Exhibit #1)

Wm. B. McKnight (1859-1956) was born in Wood County, Texas,

the fifth of six children of J. D. and Susan E. (Wynne) McKnight. J. D. McKnight served in the Mexican War from 1846 to 1848. He joined the Confederate States Army as a Captain, but he was killed in a sawmill accident on November 11, 1861.¹⁵ Dr. Wm. B. McKnight had vivid recollections of the years after the War Between the States. The family's few slaves left after the surrender of the South in 1865. The McKnight children were too young to farm the land, and the family experienced actual hunger for the next four years. The staple food was reduced to bread and a limited amount of meat - no beef, and "for two years there was not a dust of flour in our home." Susan McKnight's brother-in-law, Dr. Burney, advised her to move the family to Tarrant County, and they arrived at Johnson Station on Christmas Day in 1869.

Wm. B. McKnight graduated from the Mansfield Male and Female College. Then, as was the custom, he "read" for the preparation of a medical career in a doctor's office before entering the University of Louisville Medical College. He graduated in 1886 at the age of twenty-seven years. He began his practice in Springtown, Parker County, Texas, and married Sallie Green Hodges of Mansfield on November 13, 1889. In that same year, he entered Bellevue Hospital in New York for a year of post-graduate study. He believed in continuing long before the idea was generally accepted and spent six weeks of every year in New York or Chicago for refresher work. After seven years at Springtown, the family moved to Mansfield. Dr. McKnight maintained a three-room medical office in the mezzanine area of the McKnight building. He

practiced medicine and was active in Mansfield's civic affairs, including helping found the Mansfield Academy and helping organize the Mansfield State Bank, until his retirement in 1935.¹⁶¹⁷

Sallie Hodges McKnight (1866-1957) was one of three daughters of Dr. Duff and Hannah Ann (House) Hodges. Dr. Duff was the first physician in southeast Tarrant County and covered his territory from Mountain Creek to Village Creek on horseback. The Hodges' family came to Texas from Sumner County, Tennessee in 1859. Mrs. Hodges rode horseback to Cedar Hill for the mail before Mansfield had a post office. Sallie Hodges was also a student of John Collier's Mansfield Male and Female College and, later, studied piano at the New England Conservatory of Music in Boston.¹⁸ Dr. and Mrs. McKnight had five children: Mary, died as an infant; Dr. Wm. Hodges McKnight; Kate McKnight Lattimore; Dorothy McKnight Warner; and James Stephen McKnight. Mrs. Warner is now living in the Weatherford area and is the only surviving member of the family.

The Mansfield Knights of Pythias Lodge No. 229 occupied the west end of the second floor of the building, known as Castle Hall, for nineteen years. The Lodge records indicate that the members met in the I.O.O.F. building for the first four or five years.¹⁹ The Lodge existed for twenty-three years and surrendered its charter in 1919. The highest membership total was sixty-five in 1911, and the lowest membership total was twenty-one in 1919.²⁰ The probable reasons for the decrease in membership and surrender of the charter were because many of

Mansfield's young men were in military service in WW I, and there was an influenza epidemic in 1918-19 that is said to have affected every household in the Mansfield community. The original charter application listed thirty signatures, but five of the names were omitted on the final application form.²¹ The traditional Knights of Pythias tower remained on the roof of the building until about 1960, and the letters "KP" are still visible on the building's cornice.

The street level floor of the McKnight building was first occupied by N. B. Ward's drug store. Newton Benjamin "Ben" Ward (1871-1948) was born in Mississippi, one of four children of Newton H. Ward (1837-1876) and Armintha Ann Ward (1837-1915). Newton H. Ward was one of eight brothers who migrated to Texas and settled in Wise County. They are buried in Big Creek Cemetery in Wise County. Ben Ward served a pharmacist's apprenticeship in Grand Saline, Van Zandt County, Texas as required for certification as a registered pharmacist by the Texas State Board of Pharmacy. The legend is that he came to Mansfield from Springfield in Parker County as did Dr. McKnight, so it may be assumed that the doctor and the druggist became acquainted in that place.²² The 1900 Tarrant County census shows Ben Ward as living in Mansfield as a boarder with Thomas B. Huitt who managed a hotel on Smith Street. The drug store was first known as Ward and Curry, but there is no knowledge of the partner, Curry.²³ Mr. Ward operated the store in the McKnight building until the early 1930's.²⁴ Accounts were difficult and/or impossible to collect during the "Great Depression," so

for economic reasons, the drug store was moved to the west side of Water Street (now North Main Street). In 1938, Mr. Ward moved his family to Fort Worth and operated a drug store on Vaughn Boulevard. On April 12, 1903, N. B. Ward married Nora Etta Smithee (1883-1985), a daughter of Silas and Lucy (Sumpter) Smithee, of Mansfield on April 12, 1903. W. A. Pool of the Bisbee Baptist Church was the officiating minister.²⁵

The first local telephone exchange office was located in one of the back rooms of the second floor during the early 1900s.²⁶ Following Dr. McKnight's retirement in 1935, his son, James S. McKnight (1901-1986) occupied his father's office space for an insurance business. In 1940, James McKnight converted the second floor into apartments.²⁷ The drug store space was occupied by Sells Grocery Store until 1965 and various other businesses following that. When J. S. McKnight retired in 1984, the Mansfield Historical Society moved into the three-room office space.

The McKnight/Knights of Pythias Building and its first occupants served the Mansfield community for nearly forty years as a doctor's office, fraternal meeting place and a drug store. It is appropriate that it should be preserved as a significant part of the past as the City of Mansfield builds for the future.

Compiled by: Beth Harrison Canright
5600 Bennett Lawson Road
Mansfield, TX 76063
(817) 483-9415

1. Surveyor's Records, Tarrant County, Texas, Book A, p. 175.
2. Tarrant County Deed Records, Book A, p. 441.
3. Ibid., Book A, p. 442.
4. Ibid., Book F, p. 386.
5. Ibid., Vol. 36, p. 106.
6. Ibid., Vol. 36, p. 107.
7. Ibid., Vol. 104, p. 487.
8. Ibid., Vol. 146, pp. 254-255.
9. Arthur Weinman, "Preliminary Report: W. B. McKnight Building, Existing Conditions and Recommendations for Restoration and Rehabilitation", July 7, 1997. Mr. Weinman's address is 6777 Camp Bowie Blvd., Suite 339, Fort Worth, TX 76116, phone # (817)737-0977. Copy on file at the Mansfield Historical Society.
10. Tarrant County Deed Records, Vol. 1575, p. 365.
11. Ibid., Vol. 8574, p. 1873.
12. Ibid., Vol. 9394, p. 1796.
13. Ibid., Vol. 10168, p. 645.
14. Ibid., Vol. 12691, p. 57.
15. Capt. B. B. Paddock, History of Texas: Fort Worth and the Texas Northwest Edition, Chicago: The Lewis Publishing Co., Vol. IV, p. 570, 192?.
16. Katie Casstevens, "Neighbors We Know", Mansfield News, July 5, 1945.
17. Tarrant County Marriage Records, November, 1889.
18. Casstevens, op. cit.

19. "Semi-Annual Report to the Grand Lodge Knights of Pythias", June 30, 1896. The original records of the Lodge are on file with the Grand Lodge Knights of Pythias, P.O. Box 150002, Longview, Texas.
20. Letter from Max Williams, Grand Secretary, Grand Lodge Knights of Pythias of Texas, Longview, Texas to Beryl Gibson, June 6, 1989.
21. Application for Charter, Knights of Pythias Lodge No. 229, Mansfield, Texas, November, 27, 1895.
22. Conversation between Beryl Steele Gibson and John Smithee Ward, grandson of Newton B. Ward, Mansfield, Texas, August 1989. On file at the Mansfield Historical Society.
23. "Ward and Curry, Druggist and Book Sellers, Jewelry, Stationery, Etc., Mansfield, Texas", Thomas J. Hubbard's account book in possession of Mr. Bill Hubbard, Mansfield, Texas.
24. "Then and Now," Mansfield News-Mirror, June 2, 1986, article with corrections on file at the Mansfield Historical Society.
25. Tarrant County Marriage Records, Book 14, p. 110.
26. The History of Mansfield, Texas, Mid 1800 - 1965, Curtis Media, Inc. and Mansfield Historical Society, 1996, p. 120.
27. "Then and Now", op. cit.

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- Application for Charter, Knights of Pythias Lodge No. 229,
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- Casstevens, Katie, "Neighbors We Know", Mansfield News, July 5,
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- Hubbard, Thomas J., account book, "Ward and Curry, Druggist and
Book Sellers, Jewelry, Stationery, Etc., Mansfield, Texas".
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30, 1896.
- Tarrant County Deed Records.
- Tarrant County Marriage Records.
- Tarrant County Surveyor's Records.
- "Then and Now", Mansfield News-Mirror, June 2, 1986.
- Ward, John Smithee, grandson of Newton B. Ward, conversation,
Mansfield, Texas, August 1989.
- Weinman, Arthur, "Preliminary Report: W. B. McKnight Building,
Existing Conditions and Recommendations for Restoration and
Rehabilitation", July 7, 1997.
- Williams, Max letter, Grand Secretary, Grand Lodge Knights of
Pythias of Texas, Longview, Texas, June 6, 1989.

ARTHUR WEINMAN
ARCHITECTS

Preliminary Report

W. B. McKNIGHT BUILDING

Existing Conditions and Recommendations
for
Restoration and Rehabilitation

July 7, 1997

Mansfield Historical Society
100 North Main Street
Mansfield, Texas 76063

BUILDING CONSTRUCTION

STRUCTURE

Our observations indicate that Portland cement does not seem to have been used as part of any of the original construction of the building. According to Mr. Tom Pressley, a General Contractor who has worked on the McKnight Building as well as others on Main Street, the building has a brick foundation laid directly on caliche. All brick mortar appears to be a sand - lime mix with no Portland hardening. No parapet cap was installed, and the roof does not appear to have been well maintained. All vertical building structure is brick masonry only. As a consequence, severe degradation of the mortar and stability of the masonry walls of the building can be seen on the exposed faces and on the bearing footing under the first floor joists.

Existing exterior and demising walls are four withes thick from the foundation through the second floor joists, and three withes thick to the roof joists. The parapet wall appears to diminish to two withes thickness. It appears that a layer of lime stucco mortar was placed over the inside face and over the top of the parapet as waterproofing.

Floor structure is wood plank, on wood floor joists. First floor joists and mezzanine joists bear on the north party wall, and on the south outside wall with a brick grade beam under the center of the first floor, and a wood beam and post structure under the center of the mezzanine. Second floor joists clear span between the north party wall and the south outside wall. These floor joists were not exposed, but based on our measurements are believed to be 1 3/4 inch by 7 1/4 inch rough sawn as are the first floor joists.

The second floor ceiling and roof are supported on a truss made of 1 3/4 inch by 5 1/2 inch rough sawn joists connected by 3/4 inch by 5 1/2 inch bridging at about three feet on center. These could be observed and measured through missing bead board ceiling at the front of the building. The bridging is combined with diagonal bracing, making the assembly into a kind of primitive truss, built in place, to support the roof.

What we believe was original floor deck, observed at the storefront end of the first floor between the widow sill and later floor covering, is 3/4 inch by 5 3/4 inch tongue and groove plank nailed across the floor joists. Floor joists observed appear to be at 18 inches on center, 1 3/4 inch by 7 1/4 inch, rough sawn on first floor and under the mezzanine. Second floor structure could not be observed.

All wood structure of the building appears to be in good condition with adequate bearing in masonry walls, or on masonry footings.

EXTERIOR

Site:

The building is surrounded by recent concrete walks facing the streets on Main and Broad, and by older driveways on the Smith Street elevation. All are in good condition, although some modification of the Smith Street driveways may be required to facilitate pedestrian entry at this location.

The building has been hit twice by out-of-control vehicles from the Main and Broad intersection. Although fairly well protected by street lights, power poles and signal pole, it is also suggested that at least one pipe bollard be added in the sidewalk, to aid with protection of the south west corner of the building from traffic.

Main Street Storefront:

The first floor storefront is supported by four painted cast iron columns supporting a cast iron lintel holding the masonry. One column at each end has the column side abutting the masonry. Two center columns are free standing, on either side of the pair of entry doors. The cast iron sill at the base of the storefront has been removed. Old storefront has been removed, and replaced with modern millwork rendition of the old storefront. Existing doors are believed to be originals, and have wood built out jambs at the cast iron columns to make up the difference in size. The center transom window sash over the entry doors appears to be an original wood sash, and may be original. A new green canvas awning on new steel pipe frame has been placed over the storefront, top at transom head and bottom just above the new door head height.

The cornerstone is original. Stucco repairs were made to this cornerstone after an auto accident about two years ago destroyed the existing corner of the first floor masonry. The cornerstone carries the name, W.B. McKnight, with the stone painted white and the engraved letters painted black. Also as a consequence of damage to the building sustained by these two auto accidents and by the subsequent repairs, the City of Mansfield had painted the entire building dark red with an alkyd modified emulsion paint, to cover these imperfections. (Previously the building was painted white, to act as a better facade for signs painted on the south side.) This was before the current owner, the Mansfield Historical Society, purchased the building.

The original brick work of the building includes fairly ornate masonry patterning on the parapet level, and above a beltline located over the second floor window arches. The brick steps in between alternate pilaster columns 16 inches wide, eight courses above *this belt line*. Another eight courses up, between the pilasters, two courses corbel out and support a soldier course, with bricks placed to give a saw tooth edge, by being placed at a 45 degree angle to the plane of the surface. Two courses above this

soldier step back to the wall face as below. Four courses above, the brick again is detailed to create a line of 8 inch by 8 inch recesses, 8 inches apart, across the surface. Two more courses, and the brick corbels out with a double rowlock and then a second double rowlock at the cap, matching the plane of the wall below. This pattern occurs twice on the Main St. facade, and twice on the Broad St. facade.

Between the other alternate pilasters, brick proceeds up six courses above the first steps to a two course corbel above this corbel, brick is laid in a square bond pattern, with no overlapping bonding brick in the wyth. This pattern is maintained to the top of the 8 inch square recesses on the adjoining faces. On all but the Main at Broad corner, at this point the brick is divided into the 8 inch by 8 inch, 8 inches apart, recesses in the surface. One course above this, the double two rowlock cap courses are maintained, above the other adjoining pattern. The pilaster columns are level with the higher adjoining brick patterns.

At the corner of Main and Broad, the above square bond pattern is maintained to a stone band the width of the square bond brick. This is raised about ten courses above the adjoining parapet walls, with a quarter circle pattern of the double rowlock parapet cap making the transition on both elevations, at the pilaster establishing this corner design. The stone band is 8 inches height, and has the lodge designation of the Knights of Pythias location engraved upon it. All brick and these stone bands have all been painted the dark red as previously mentioned.

Original construction had a pyramid shaped roof, about 9 ft. height, at this corner location on the building, related to the brick features of the parapet. According to old photographs, it was faced with metal fish scale shingles, with metal rolled ridges, and a metal finial. This pyramid shaped roof, called a "corner turret" by local citizens, was removed some time ago.

Lower brick masonry on the building is plain, with a bond course every seventh course, and flat walls on all elevations. Basement, first, mezzanine, and second floor windows have two rowlock arched header courses between the faces of the jambs, no distinguishing work at the jambs, and what appears to be a carved stone sill at the bottom of the windows, having about six to eight inches extension beyond the window jambs.

The original brick work on all exterior walls badly needs pointing work above the first floor. Masonry repairs at the damaged corner are crude and poor craftsmanship; pointing work performed on the first floor is crude, with the grout wiped on the surface and not struck at the joints. First floor and basement brick to the east of the Broad Street entry was faced with cement stucco. It cannot be determined when this was installed, but it has been in place for a considerable time. Apparently this area was used for painted or for pasted signs, common advertisement in the early years of the building's life.

There is a ten inch inside bow to the parapet wall that can be clearly seen from the roof. This bow carries down into the second floor wall. The work appears stable, however, as it is supported by ceiling framing, roof framing and roof deck. Once restoration and renovation work have commenced, it can be determined whether any additional structural work will be required.

The outside brick was painted with an alkyd modified acrylic house paint, dark red, after the masonry repair and pointing work was performed. It will be necessary to remove this paint from the brick to properly perform any repointing work on the second level and parapet. When the paint is removed, the first level work will be more visible so that we can see whether it will be practical to restore this masonry and pointing work to proper struck masonry, or whether it will be more practical to repaint the building.

Broad Street Elevation:

Outside windows on the first floor facing Broad Street are hopper type wood sash, with one vertical mullion, and appear to be in good condition. These windows are located high on the wall, about nine and one half foot above the floor. The windows are covered over the exterior with painted plywood or hardboard. These windows should be restored as part of the construction work.

The door entry from Broad Street has a half round brick arch over, with stucco fill. The arch is almost double the width of the entry door. The arch is repeated in a half round transom window over the door, with a vertical mullion and a single 45 degree diagonal mullion on each side. It is difficult to determine whether the transom is original, but it might be as the door frame appears to be original. The door is a two panel painted glazed wood door, similar to the entry to the mezzanine office, and probably added about the same time. There is a green metal shed shaped canopy over the entry, not conforming to the arch but placed over it in an inappropriate manner. There is a concrete stoop about four foot square over the sidewalk as an entry to the door, with a second riser at the building face. The threshold is cast iron, with diamond shaped grooves on the top. Although the grooves have worn flat in the center, the threshold is still serviceable, and shall remain.

Existing old electric service remains on the outside Broad Street wall of the building. New electric service, with a meter next to the door entry, also is located on the Broad Street facade.

Smith Street Alley Elevation:

The east Smith Street alley face of the building has an existing steel stair to the roof, starting at the roof of an existing metal garage and carport added to the back of the building. The existing steel angle ladder to the roof extends from the metal garage

roof. It appears that the section of this ladder, cut off when the metal garage was built, was placed on top of the roof as a platform extending across the roof to the Smith Street elevation of the garage. Existing AC compressors for the mezzanine offices are also located on this roof. The roof drain system consists of one collector head and downspout, extending down to a splash block located between the metal garage building behind this building, and the same sort of metal garage behind the adjacent building. These garage buildings are separated by about two feet. Existing exterior plumbing vents are also attached to the back face of the building, along with the existing telephone service.

Windows:

Outside basement windows are the same as the first floor, but are covered on the exterior with wood louvers. Most likely the wood louvers placed on the Broad Street side of the building should remain, but the window on the Smith Street alley should be restored.

Windows on the mezzanine and the second floor are double hung weighted sash, with one vertical mullion in each sash. These windows should all be stripped, repaired, and repainted with new sash cords and the glass reglazed in the windows for full complete operation and longer life. There are some locations where exterior brick mold and trim may need replacement.

All windows are framed into brick arched lintels. The brick is in good condition on most windows excepting two on the Broad Street side, one on the Main Street side, and two on the Smith Street alley side. After the paint has been stripped, it can be seen whether prior repairs are adequate and if any additional work needs to be performed on the masonry arches and heads for any of these windows.

Roof:

The corner pyramid roof "tower" has been removed for some time. No trace of the original structure is visible either from the interior or at the existing parapet or finish roof surface from on top of the roof.

The existing four ply tar and gravel Fiberglas felt built-up roof over 1 1/2 inch pearlite insulation board on the wood deck, seems to be well built, and was contracted by the City of Mansfield to Pinkston-Hollar contractors about four years ago. The roof has a five year warranty by the installer, Pinkston-Hollar. From the proposal documentation we believe that this warranty is good through July, 1998.

When the roof was installed, parapet flashing work was deleted from the contract, with the new roof to be mopped with hot tar up about 8 to 10 inches above the cant. Current sidewall flashing is adequate, but the parapet cap flashing consisted only of

felt ply laid over the brick, and held in place with roofing cement. For the most part, the roofing cement has separated from the brick, allowing water to freely penetrate the top of the parapet and into the interior of the bearing perimeter walls of the building on the east, south and west parapets. The north fire wall parapet is fully encased on top and both sides with a water tight membrane of roofing felt.

It will be necessary to replace all sidewall and cap flashing, after rebuilding the parapet walls by either pointing, or by rebuilding sections of the parapet. New cap flashing work will insure the water tight integrity of this critical part of the building.

BUILDING INTERIOR:

First Floor:

Original first floor interior finishes include plaster on masonry, and "bead board" (also called car siding) grooved, tongue and groove painted 3/4 inch by 5 1/2 inch wood planks on the ceiling. These were also used for the partitions at the east end of the space, for the sides of the partitions separating the stairs, and for the anti-room between the first floor and lower half-basement. Exposed wiring insulators, with asphalt insulated wiring can still be observed above the remnants of the modern lay-in ceiling. Floor is partly exposed wood plank, with two or three layers of linoleum or sheet vinyl, and a top finish of vinyl tile. Incidental later partitions of hardboard on wood studs, and gypsum board on wood studs, appear to be inexpensive temporary work installed at the back of the space toward the stairs. Entry doors are glazed painted wood with false panel applied molding and trim with modern hardware.

Half Basement:

Entry from the first floor to the half basement is through a small partitioned space that appears original to the construction. Located under the scissors stair landing, head room is more limited. This might originally have been a druggist's sink and mixing area, or might have been a janitor's area. An existing out-of-service lavatory and water closet are currently located in this space, along with some crudely constructed cabinets. An additional short run of wood stairs, more crudely constructed than the rest of the building, extends down to the half basement.

The half basement has a sloped dirt floor, unfinished brick walls, and exposed wood floor joists and the bottom of the wood plank floor above as ceiling. Original structure included a center beam 5 1/2 inches by 5 1/2 inches supporting the 1 3/4 inch by 7 1/4 inch mezzanine floor joists at 18 inches on center. Most likely there were wood columns supporting this beam directly. The large garage door opening appears to have been cut in the wall facing Smith Street in the 1920's or 1930's, and a secondary column and beam arrangement was made at the center of this space so that one of the smaller autos of that period would fit in the space.

The garage door opening has a pair of steel angle headers, supported in the brick on each side. As part of the masonry problems with this building, some of the brick on the north section of this wall are loose, and should be reset in new grout. The old door, a solid wood built-up construction hung on steel trolleys with a steel track, traverses to the north side of the opening.

Stairs:

For the stair enclosure, bead board wood siding was used, both sides, over 1x4 framing for the stair wall facing the first floor space. The partition to the mezzanine office space also has bead board siding, but appears to be on wood studs with gypsum board finish on the mezzanine interior. Repair work is required for plaster spalling from the wall beside the entry door. This problem is related to the outside moisture problems with the brick masonry, and water coming in through open joints in the parapet and on the second level.

The stairs are wood, with landings on the mezzanine entry, and with a scissors landing to split in the stair between the mezzanine and the second floor. The door from the first floor to the entry landing of the stair is modern flush door with modern hardware. The door entry to the mezzanine is by a painted, glazed two panel wood door not original to the building. The door at the landing to the stair to the second level is a contemporary flush door in poor condition.

Mezzanine Office:

Interior of the mezzanine office space appears to be plaster on masonry walls covered with gypsum board. Interior finish has later gypsum board on 2x4 stud partitions. All mezzanine ceilings are painted gypsum board. Painted wood cased opening frames and painted wood door frames have 1x4 jamb trim butted into head trim. Painted wood doors to the storage closet and to the bathroom are four panel door, similar to the original four panel doors found on the second level. Window frames, sashes and trim are all painted. Modern wood panel kitchen type cabinetry has been recently installed in one room used as a printing and filing work room. The Mezzanine Office appears to be in good condition with carpeted floor, and needs little work.

Second Floor:

The second floor was divided into two apartments with new partitions, new doors, dropped suspended acoustic tile ceiling, suspended gypsum board ceiling, carpet and sheet vinyl. Most of this construction should be removed as preparation for new uses. *The original bead board ceiling is largely intact above the other ceiling work, needing repair at the west end and the east end of the building where water leaks have caused it to be pulled loose from the framing. New insulation blown in above the bead board ceiling would be desirable as an addition to the vermiculite insulation already installed on the roof.*

Existing plaster walls in the west and along the south walls need repair, as well as whatever work is found needed when plywood panel has been removed. Existing windows, rehabilitated as part of the exterior work, will also need to have their frames stripped, repair work performed, and all trim corrected on the interior.

Some original partitions constructed of bead board on 1 inch wood framing remain across from the stairs, and perhaps behind the plywood paneling on the stairs themselves. The toilet rooms and kitchen found on the second floor have transom windows, possibly original, facing into the stair that are shut off on the stair side but open onto the second floor above the lay-in ceilings.

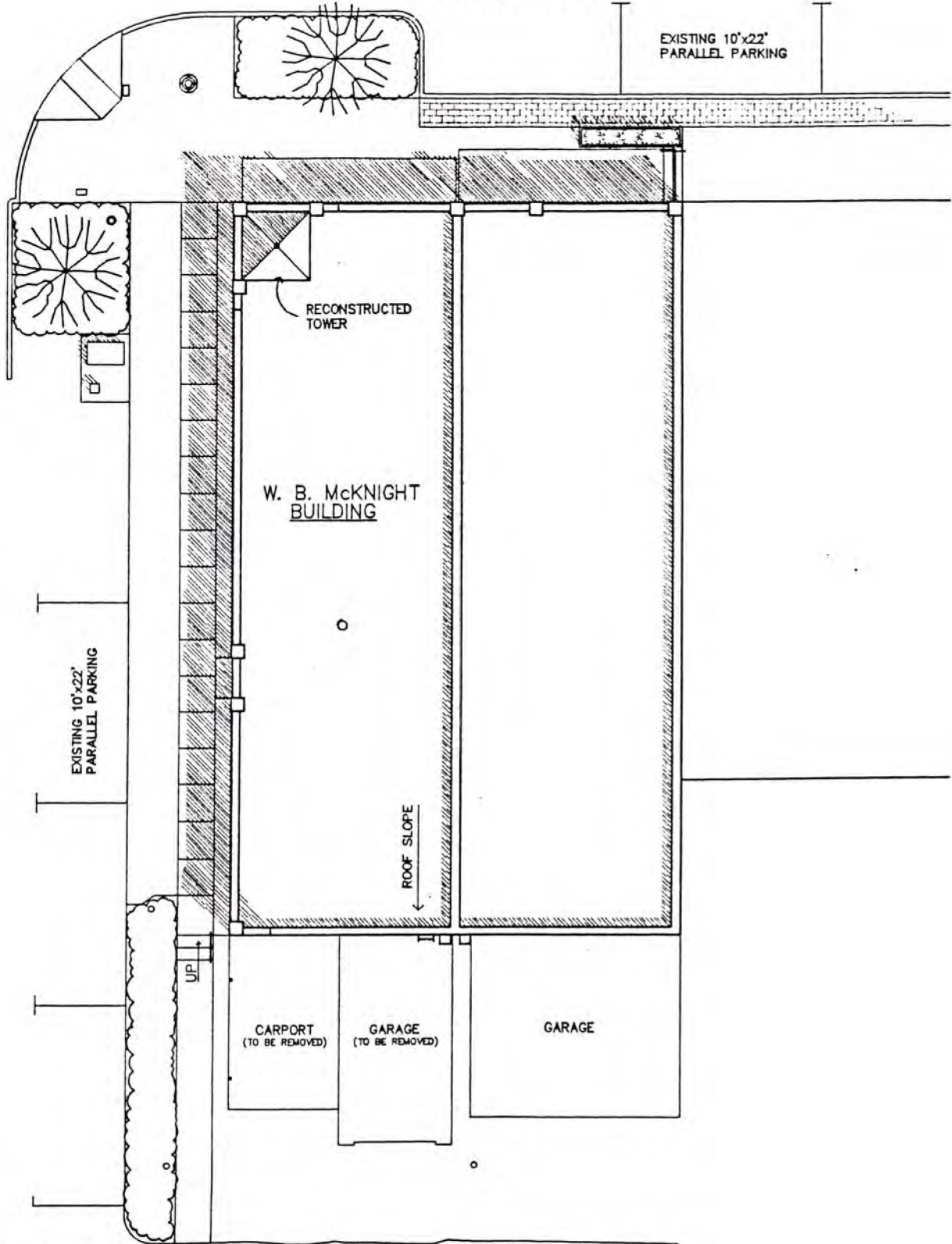
The existing second floor toilet room and kitchenette above the mezzanine offices is in poor condition and should be rebuilt for occupancy of the floor by either the Society or by tenants.

Drawings Showing Existing Conditions

Site Plan	SP-1
Floor Plans	A-1
Building Elevations	A-2
Building Section	A-3

MAIN STREET

EXISTING 10'x22'
PARALLEL PARKING



BROAD STREET

EXISTING 10'x22'
PARALLEL PARKING

RECONSTRUCTED
TOWER

W. B. McKNIGHT
BUILDING

ROOF SLOPE
←

UP

CARPORT
(TO BE REMOVED)

GARAGE
(TO BE REMOVED)

GARAGE

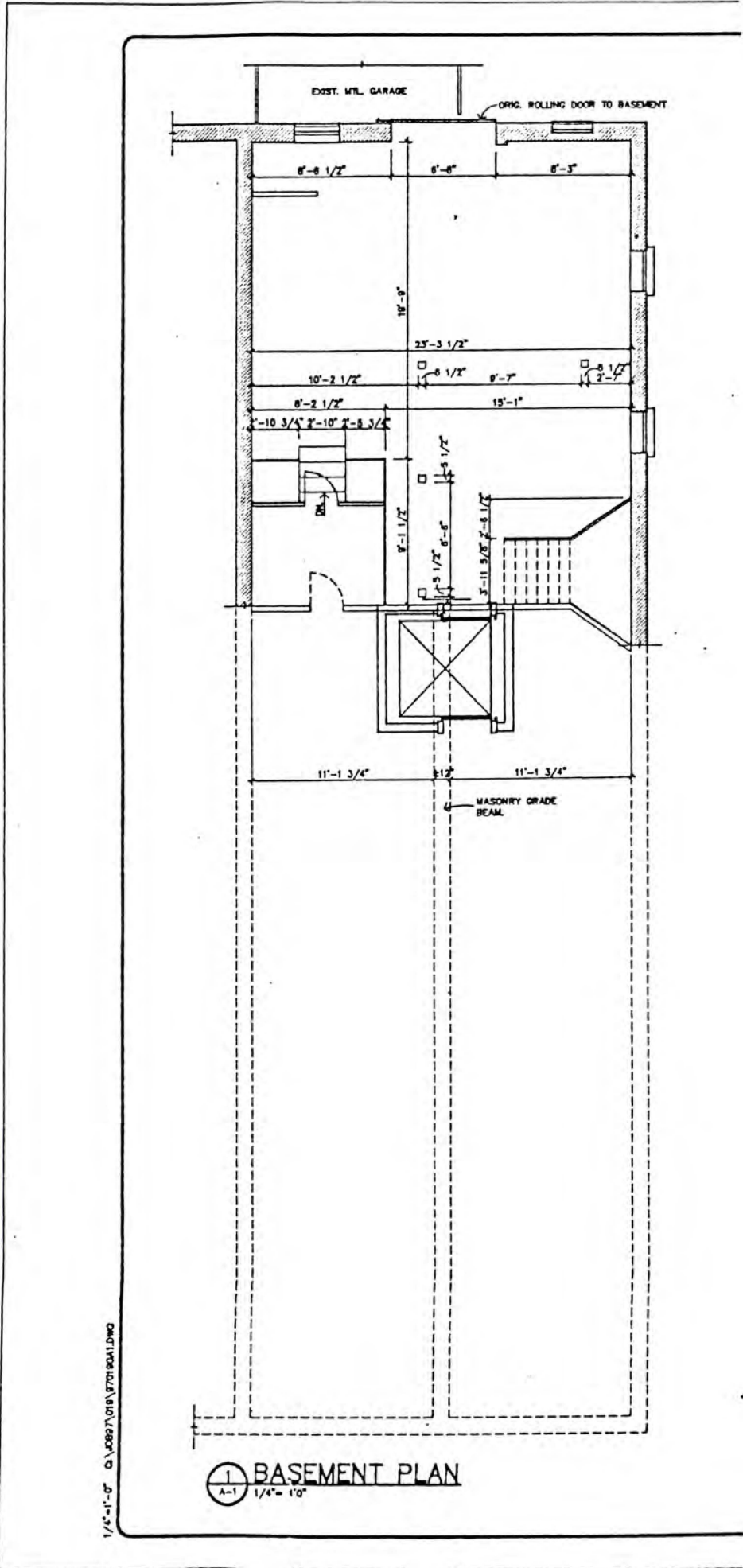


NORTH

SITE PLAN

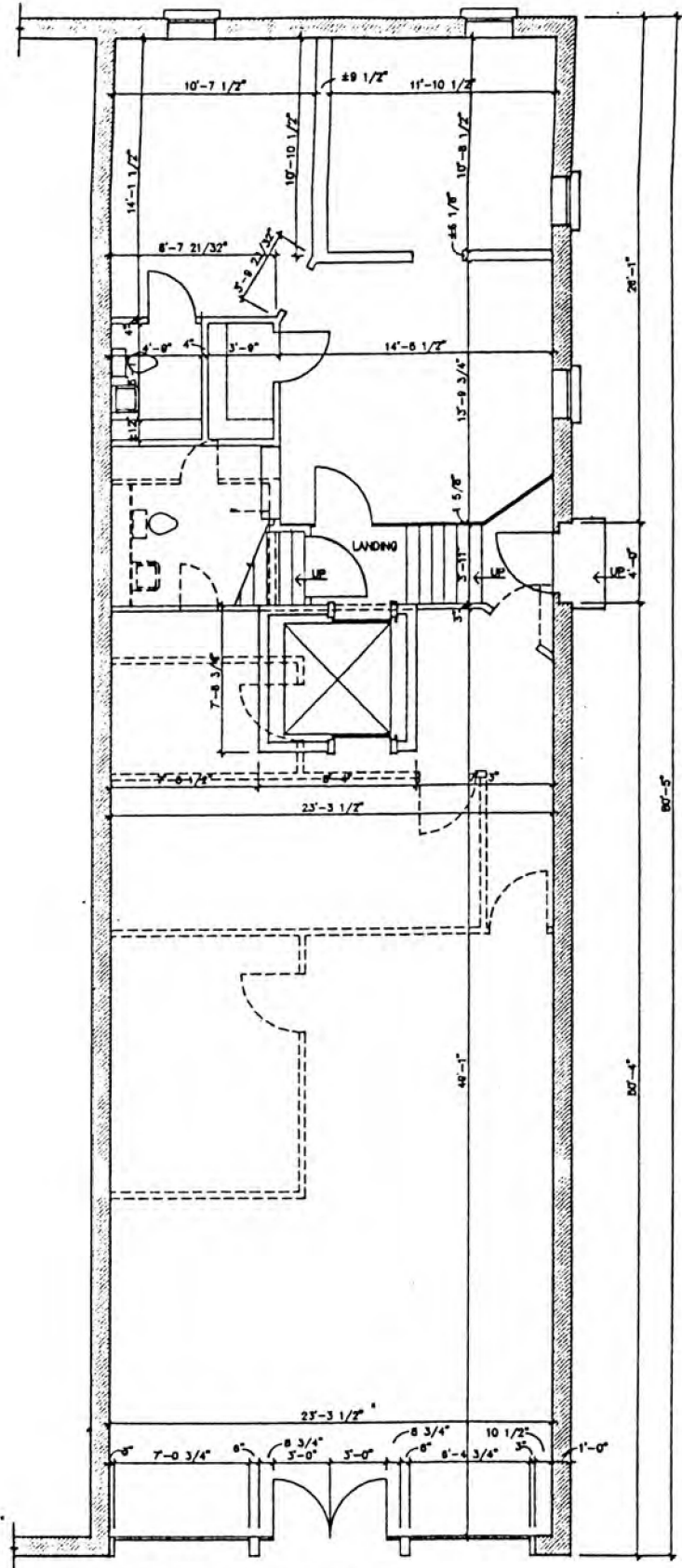
1"=10'-0"

SMITH STREET

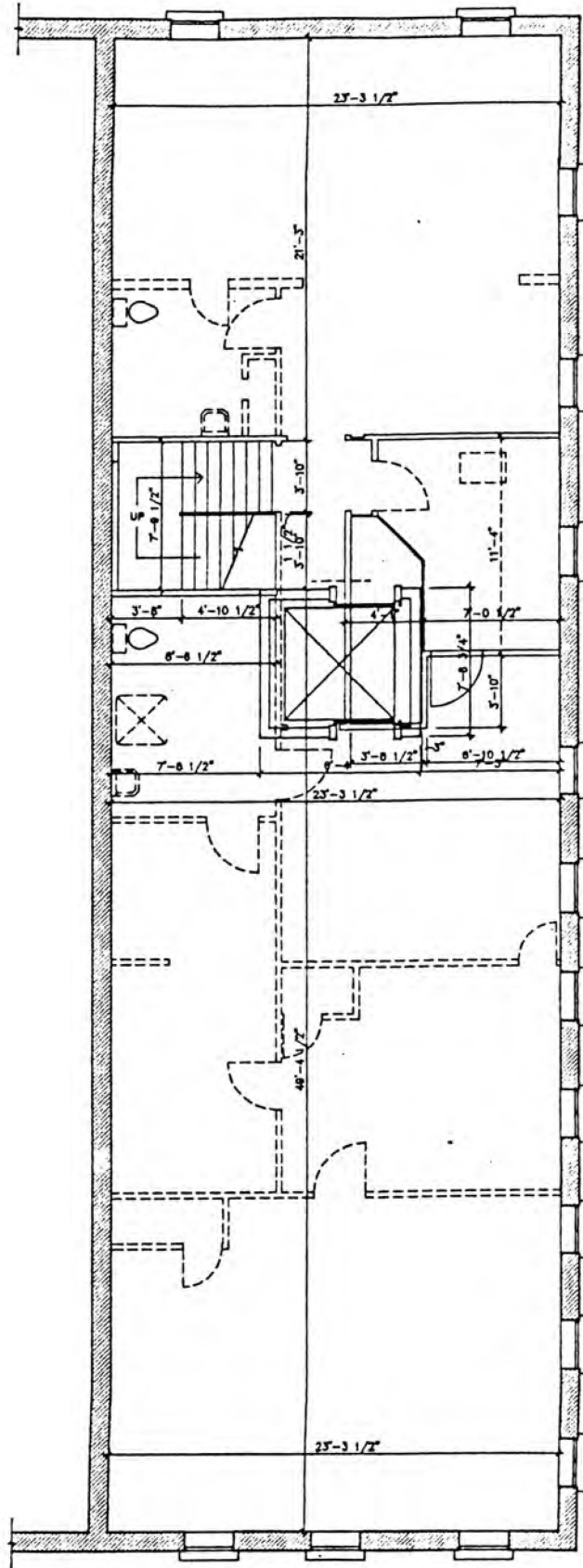


1/4"=1'-0" A:\06897\018\7018041.DWG

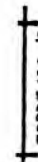
1
A-1
1/4"=1'0"
BASEMENT PLAN

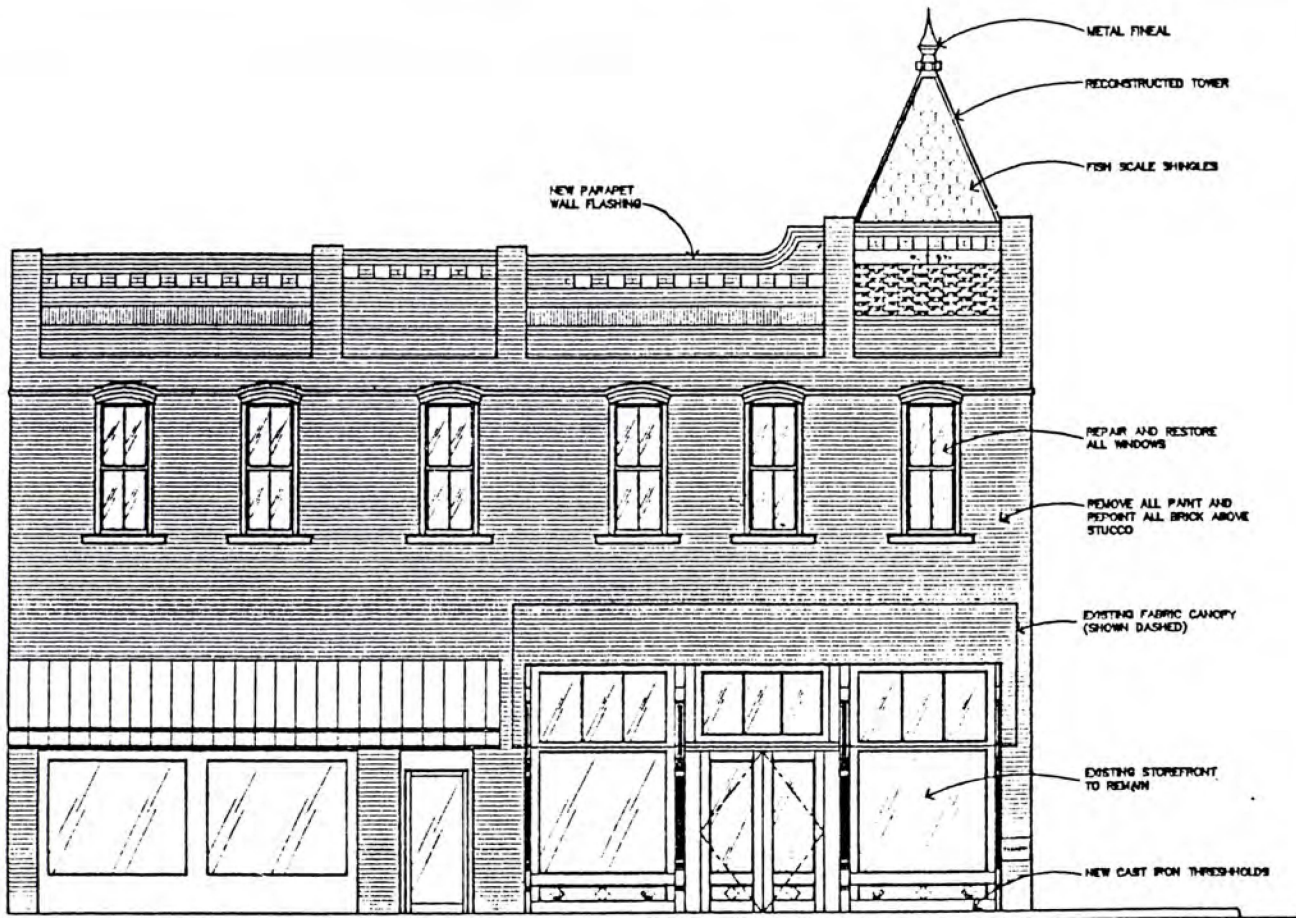


2 GROUND FLOOR PLAN
 A-1 1/4" = 1'-0"



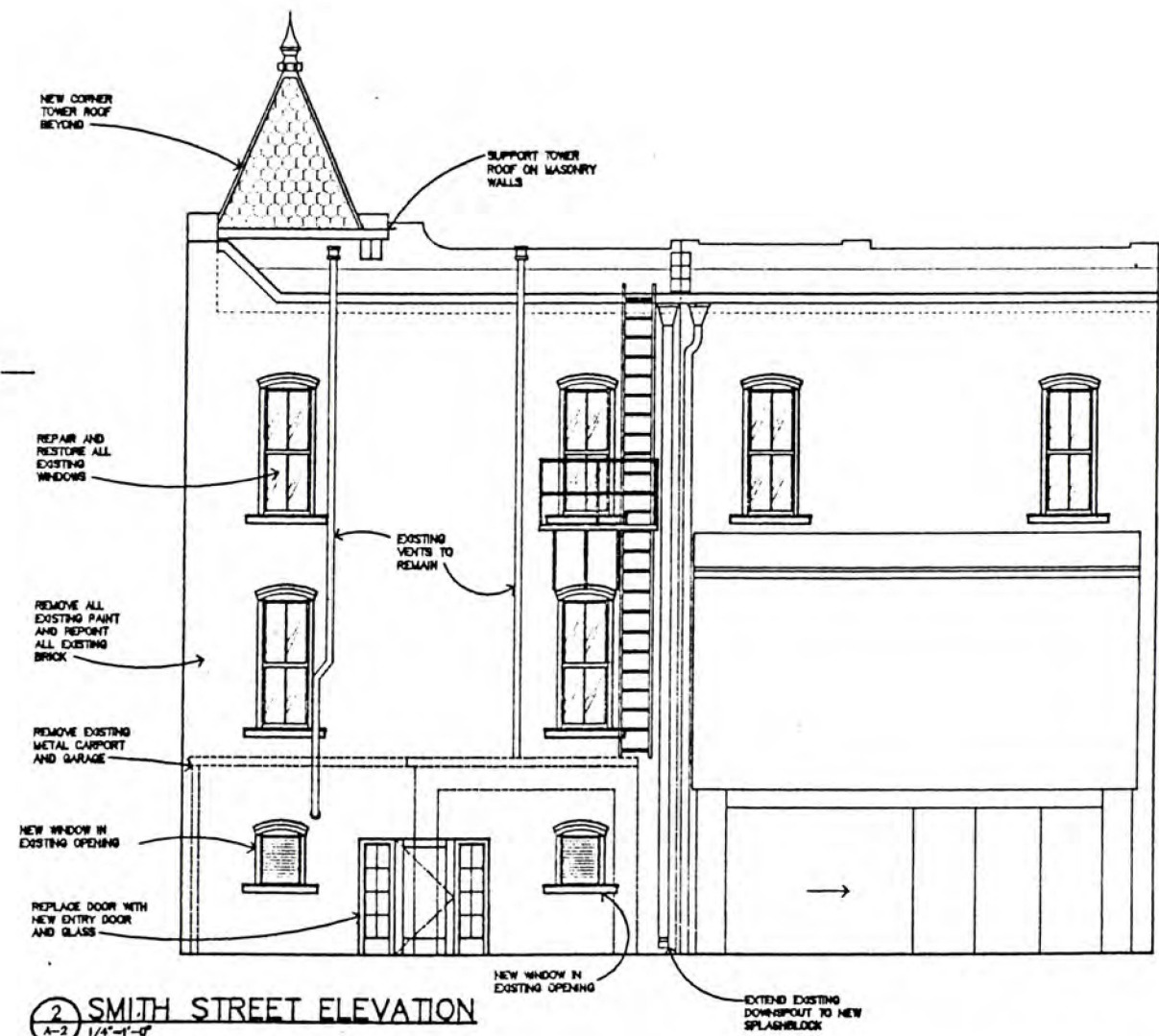
3
A-1
SECOND FLOOR PLAN
 1/4" = 1'0"





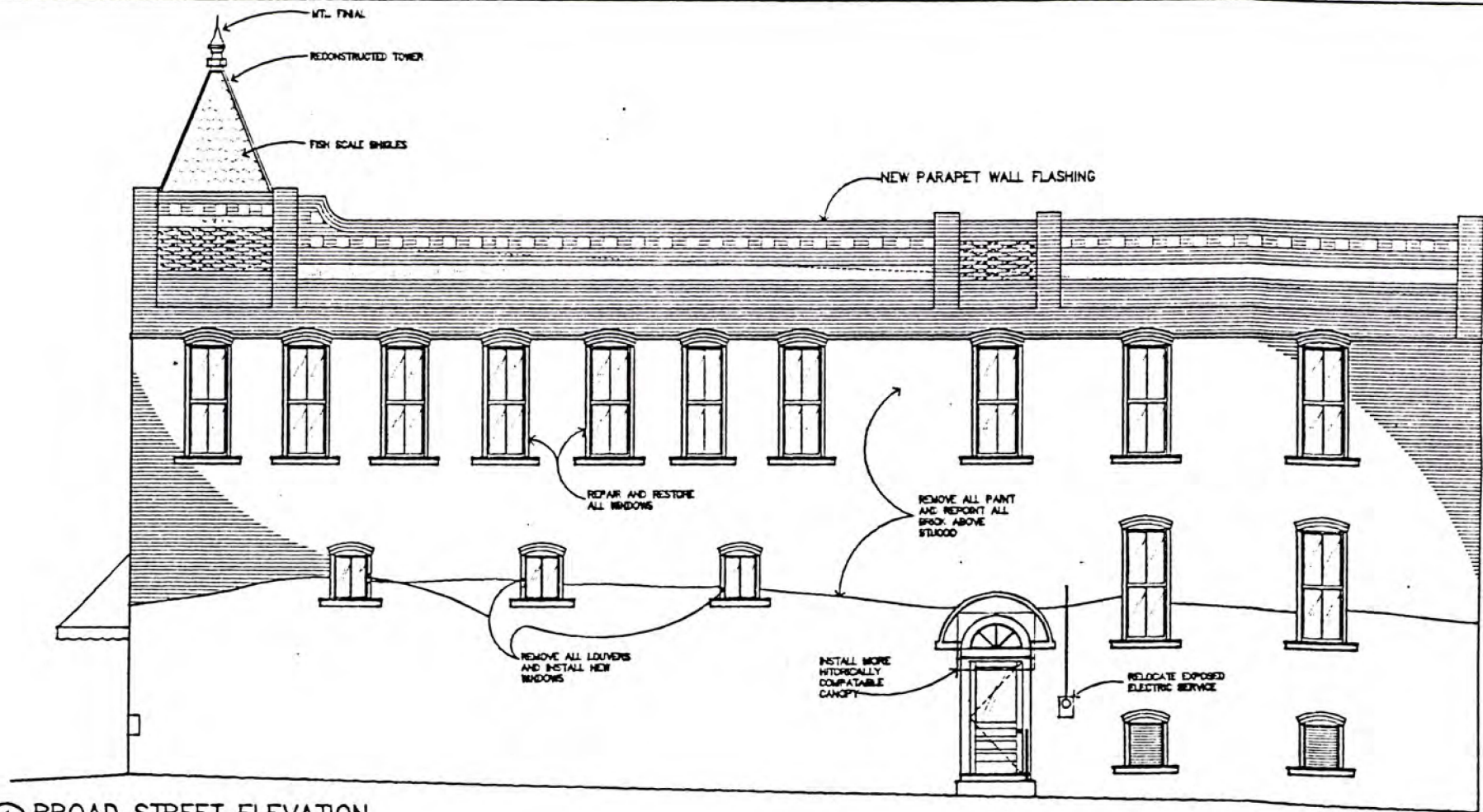
1 MAIN STREET ELEVATION
A-2 1/4"=1'-0"

1/4"=1'-0" 0:\p0007\019\27016002.DWG

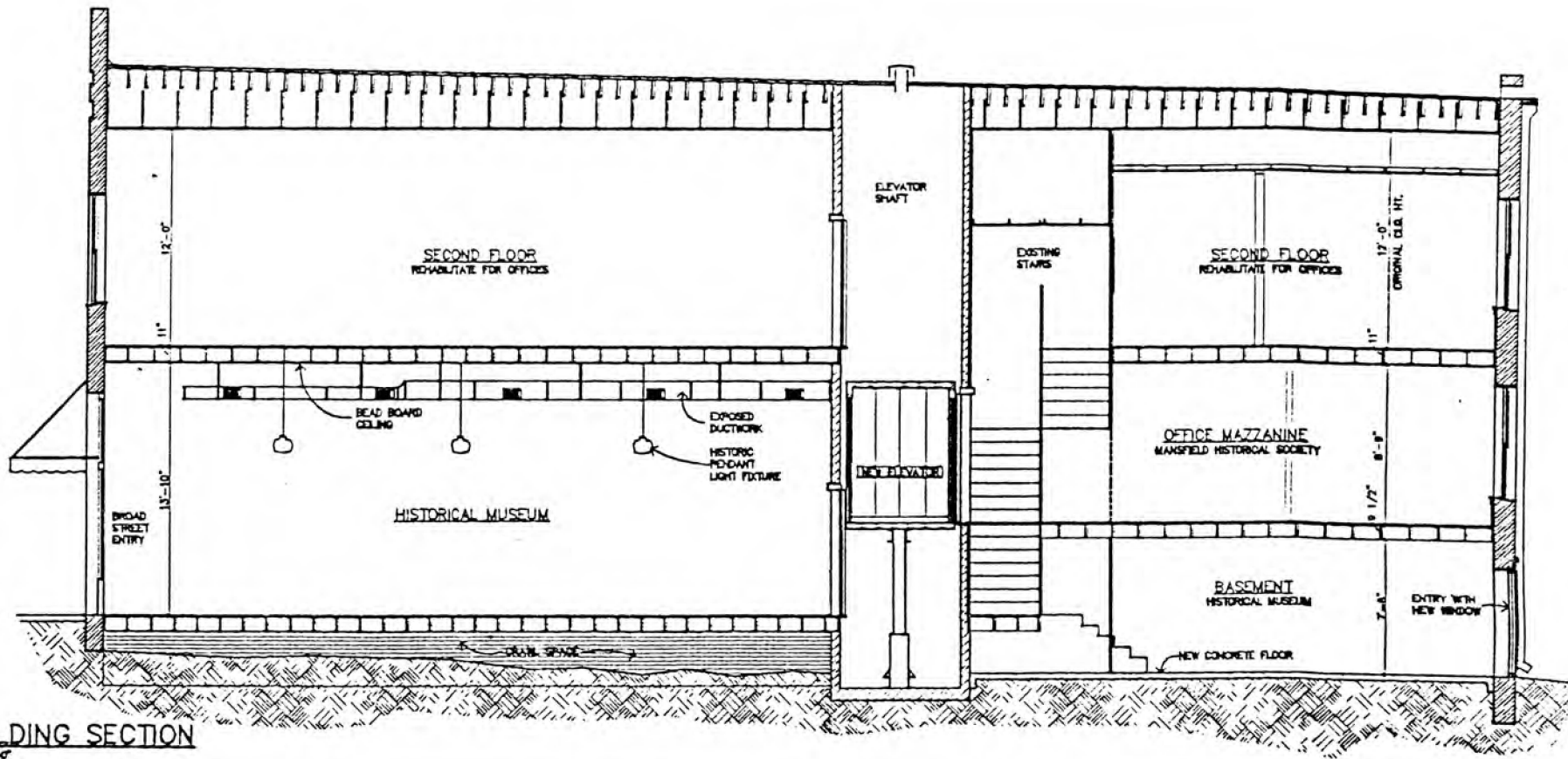


2 SMITH STREET ELEVATION
 A-2 1/4"=1'-0"

CONTRACTOR'S VERIFICATION RESPONSIBILITIES
 CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS OR INCONGRUENCIES ON THE DRAWINGS TO THE ARCHITECT FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND ARCHITECT ARE NOT RESPONSIBLE FOR ANY DAMAGE IN CONSTRUCTION WHEN SUCH DISCREPANCIES, OMISSIONS OR INCONGRUENCIES HAVE NOT BEEN PROPERLY REPORTED IN A TIMELY MANNER.



1 BROAD STREET ELEVATION
A-3 1/4"=1'-0"

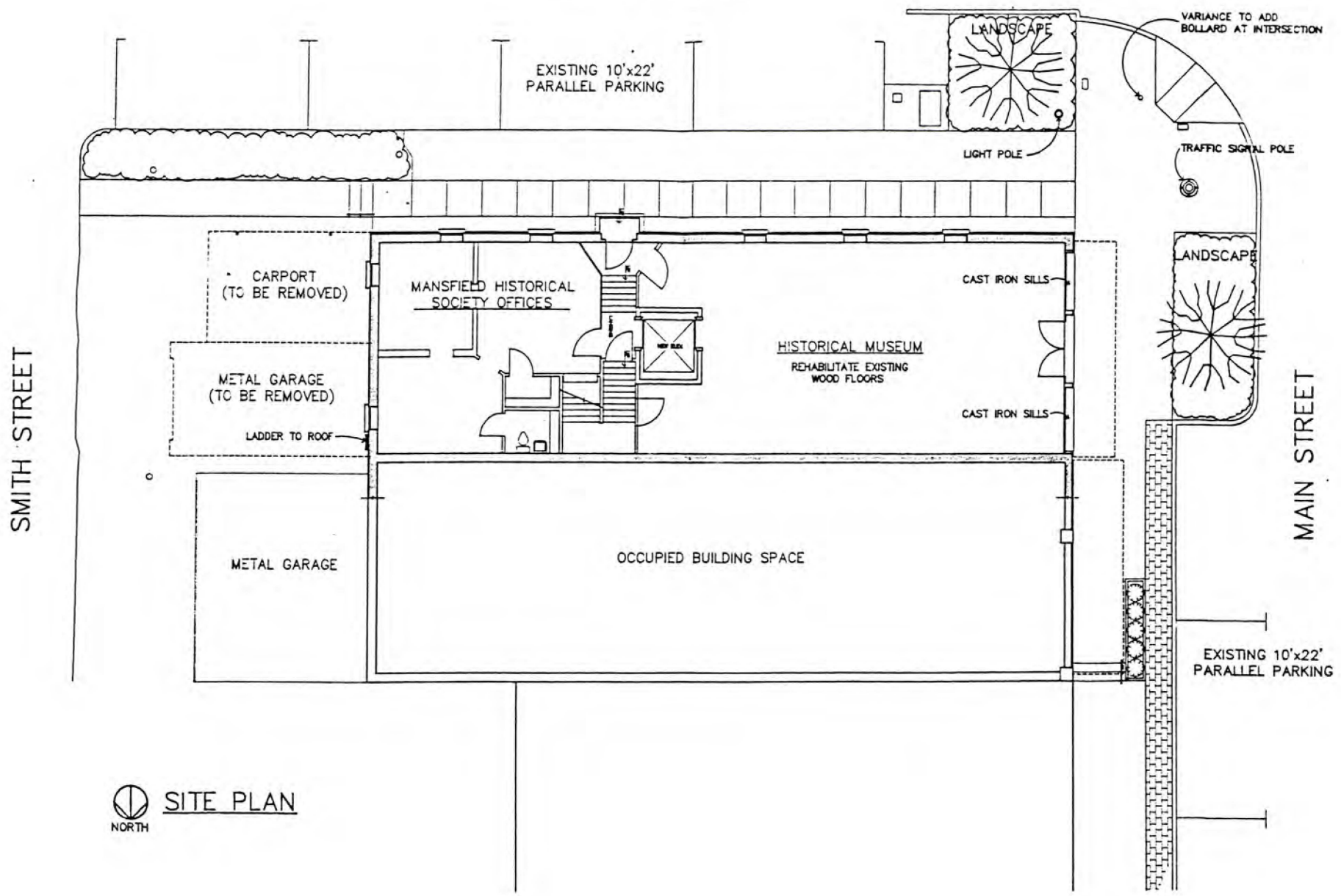



2 BUILDING SECTION
 A-3 1/4" = 1'-0"

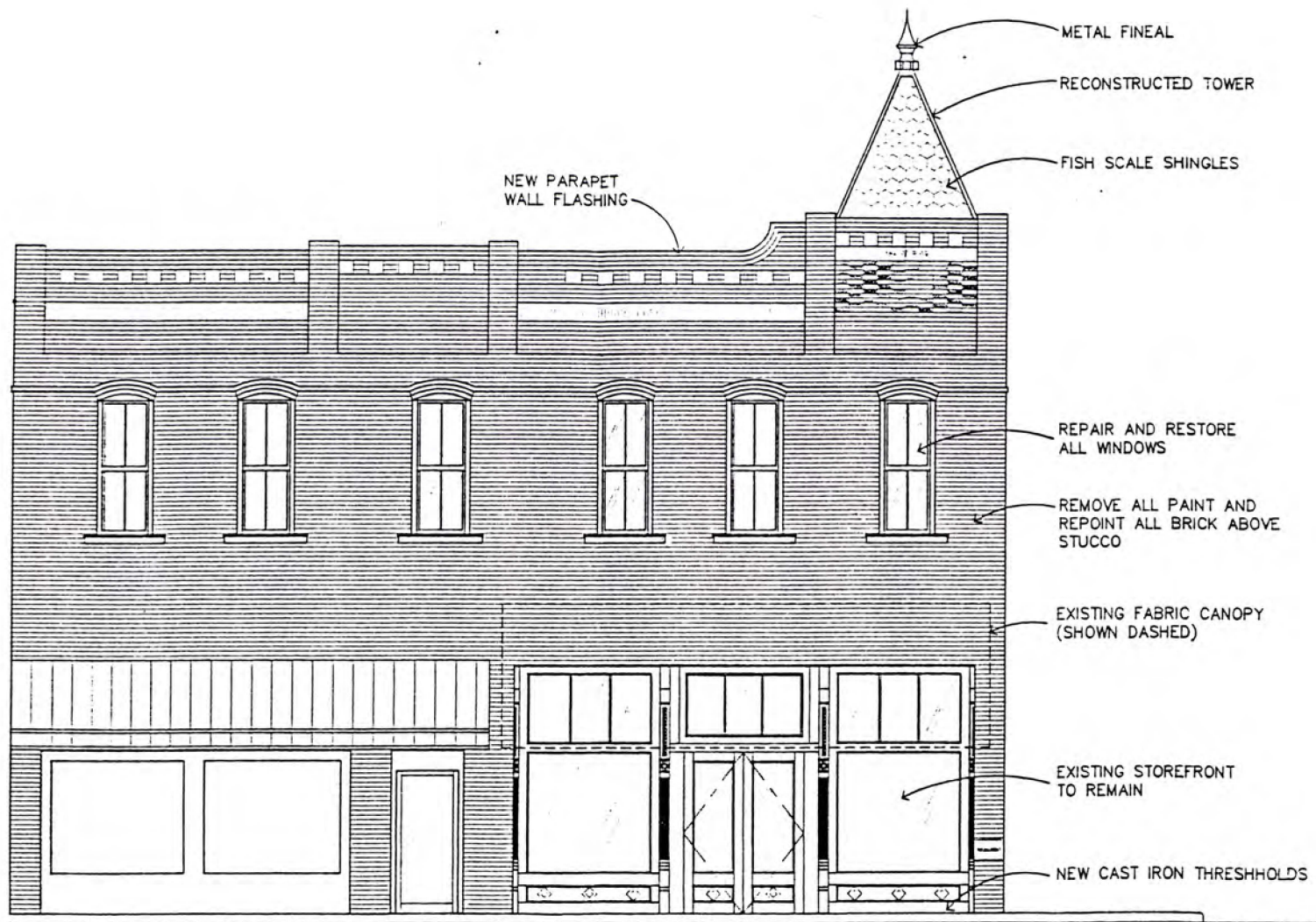
Drawings Showing Restoration and Renovation

Site Plan
Half Basement Floor Plan
Ground Floor / Mezzanine Floor Plan
Second Floor Plan
Main Street Elevation
Broad Street Elevation
Smith Street Elevation
Building Section

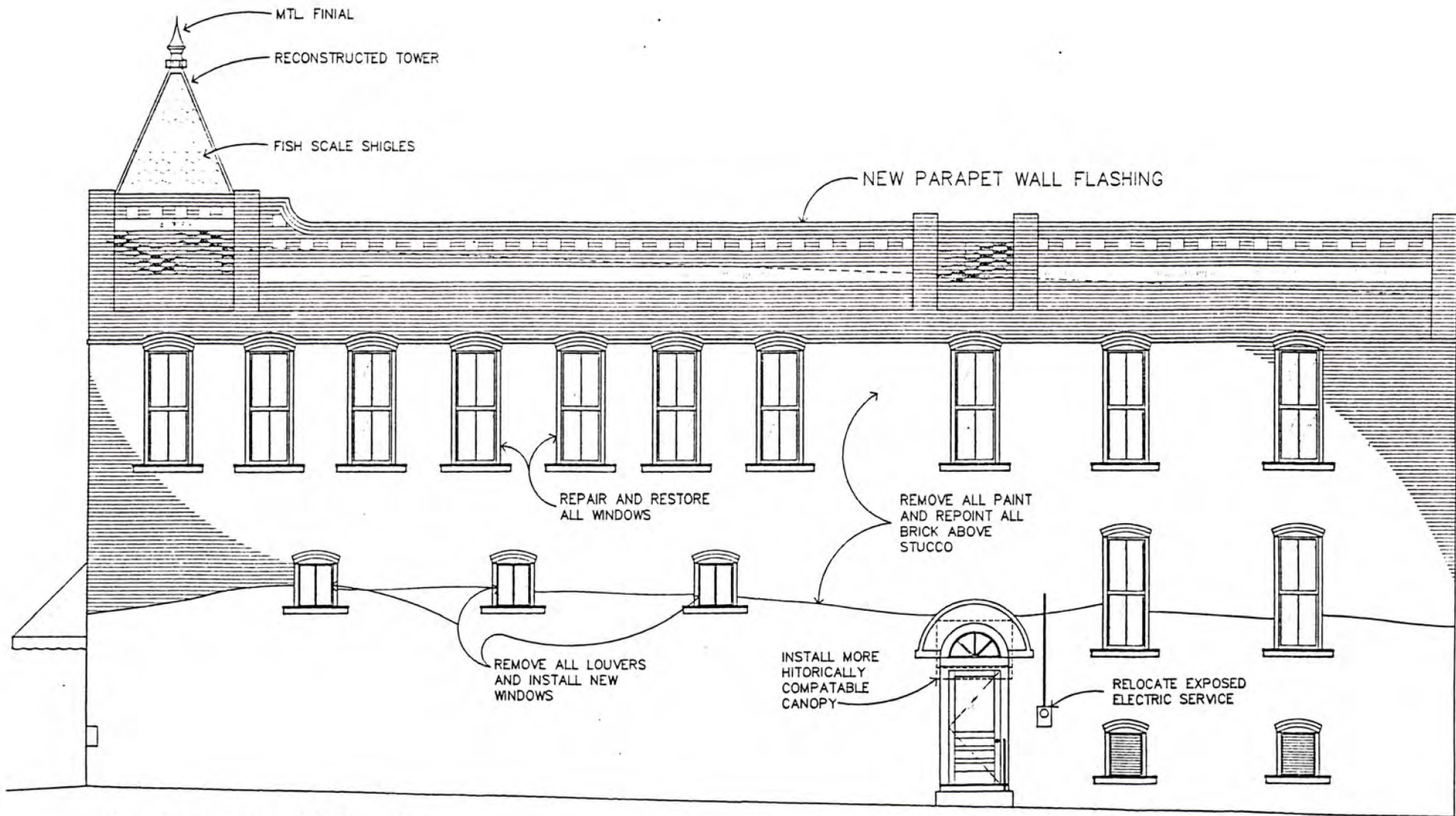
BROAD STREET



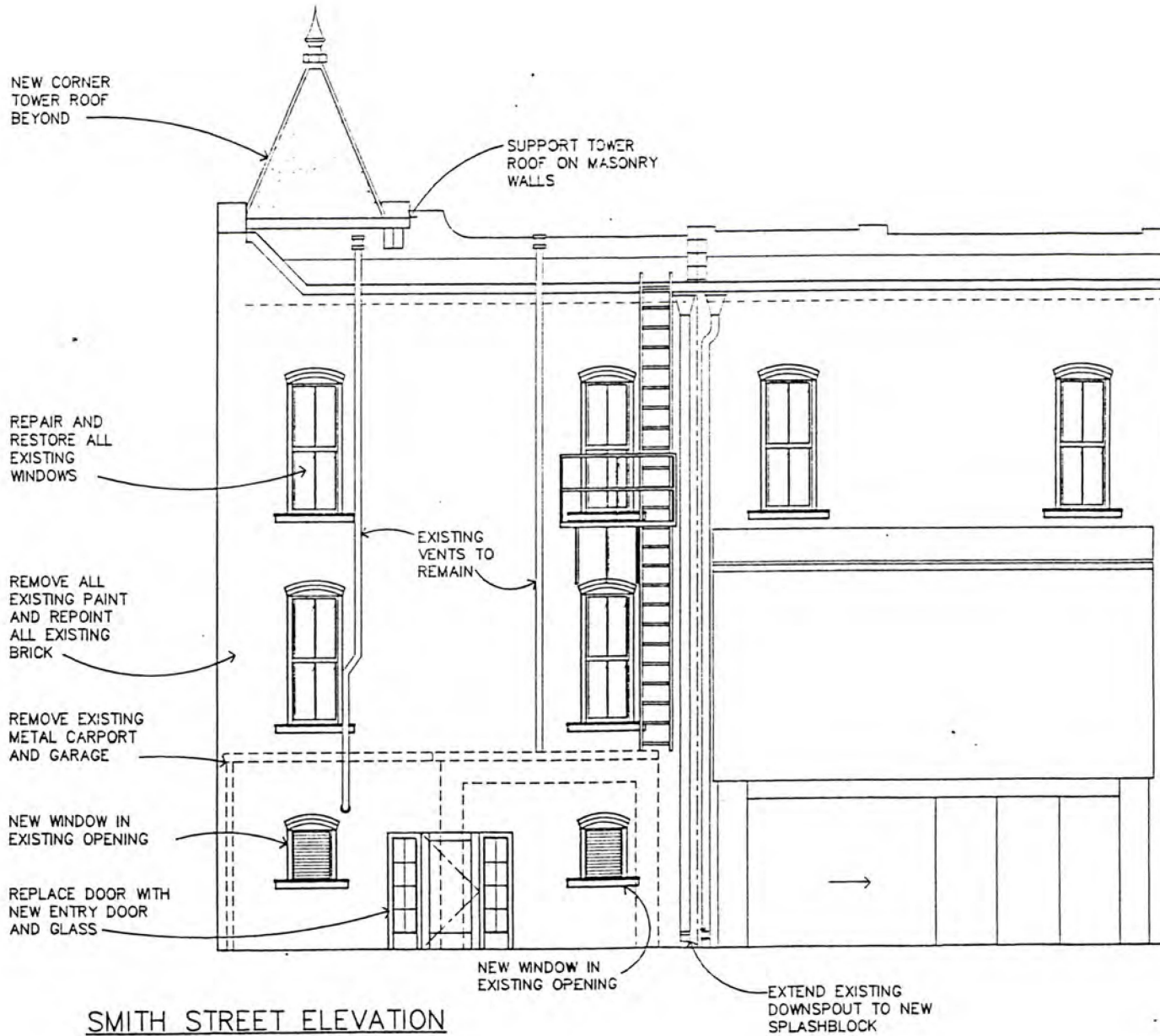
 **SITE PLAN**
NORTH

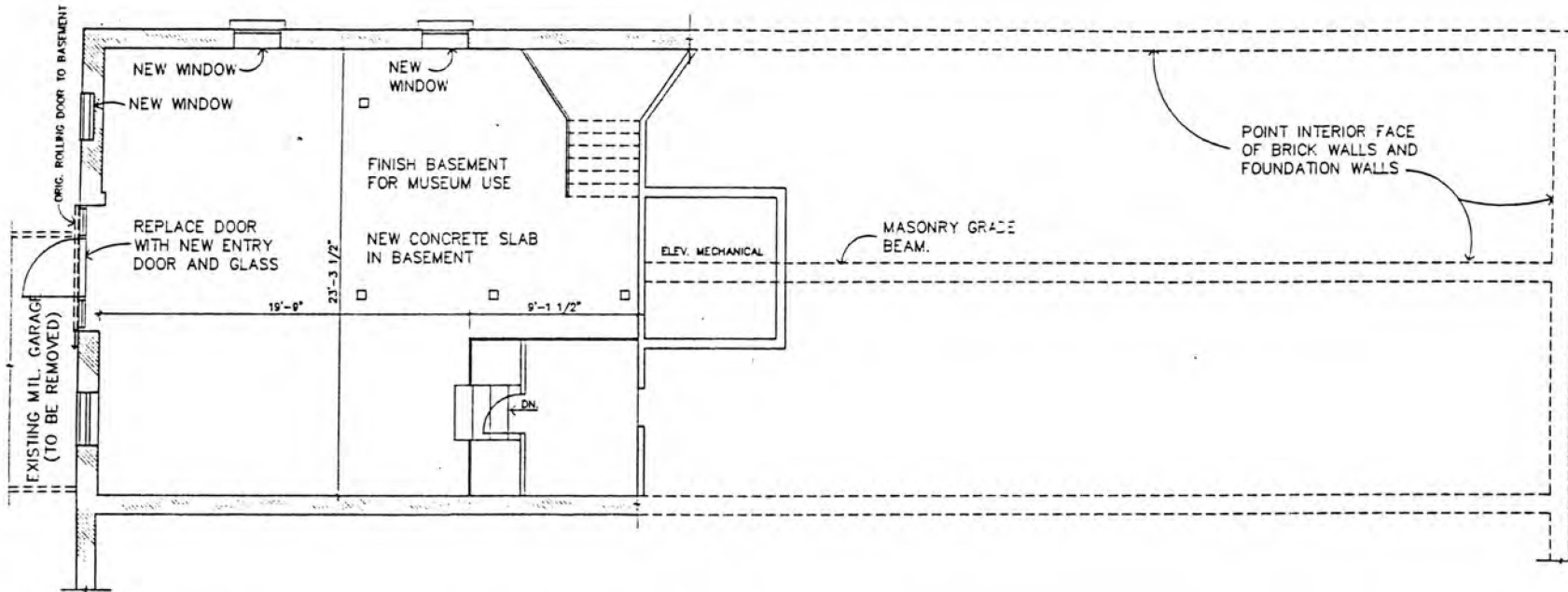


MAIN STREET ELEVATION

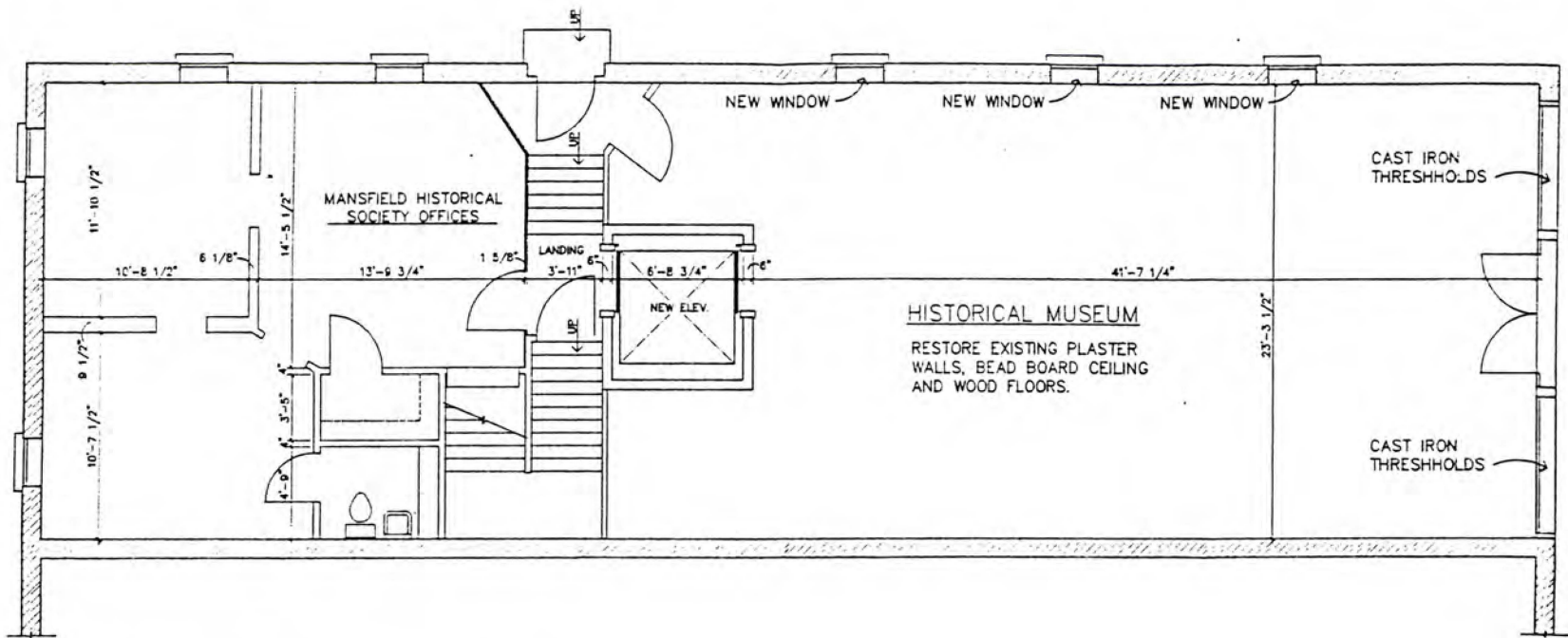



BROAD STREET ELEVATION

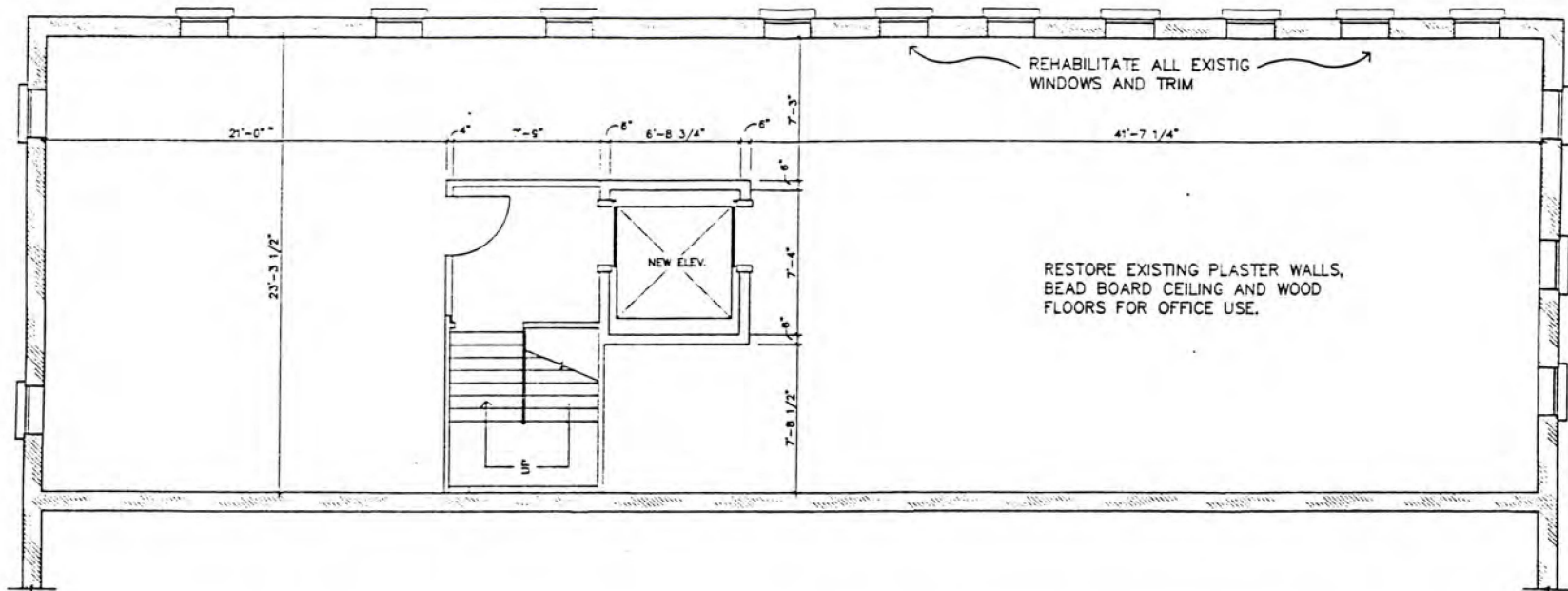





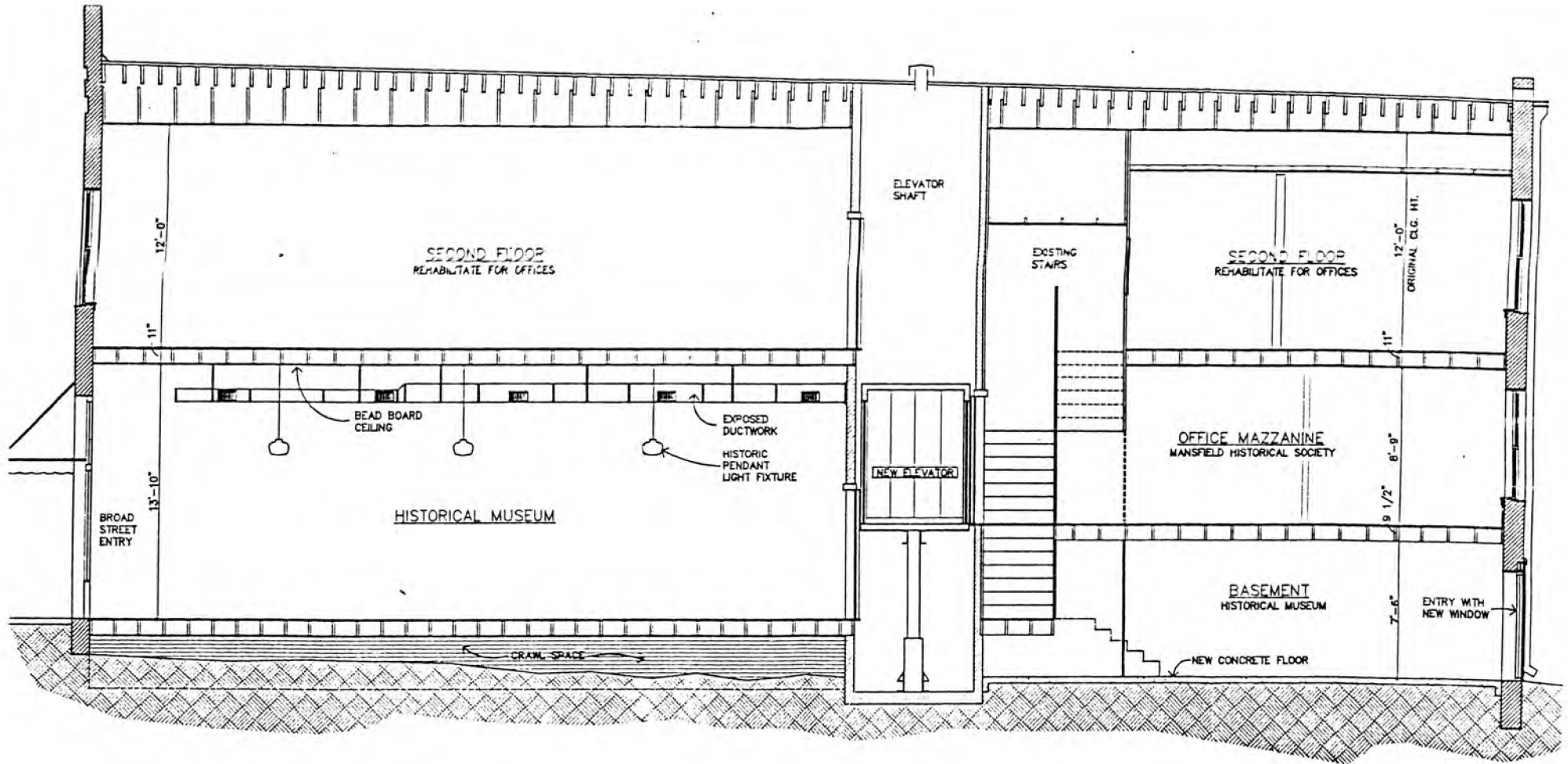
NORTH BASEMENT FLOOR PLAN




 NORTH GROUND FLOOR/MEZZANINE PLAN



 NORTH SECOND FLOOR PLAN



BUILDING SECTION

McKnight Building, Tarrant County,

SOUTHERN PACIFIC RAILROAD

Exhibit #2

1650

WADDELL TR 22
F.B. SURVEY 1650
5.260



FIELD ORIGINAL 24750

SUBJECT PROPERTY

1/2 S 205 N 297'

2 E172

CLOSED

N100 E110
N100 E110
N100 E110
N100 E110

N701 N150
N150 N701
N150 N701
N150 N701

1
2
3

N110-8 E27 N100
N110-8 E27 N100
N110-8 E27 N100
N110-8 E27 N100

LAKE ST

8 18
10 15
11 14
12 13

POND

7 18
8 19
9 20

4 21
5 22
6 23

TARRANT

Exhibit #3
McKnight Building/Knights of
Pythias Hall
Photograph made in the early
1900's

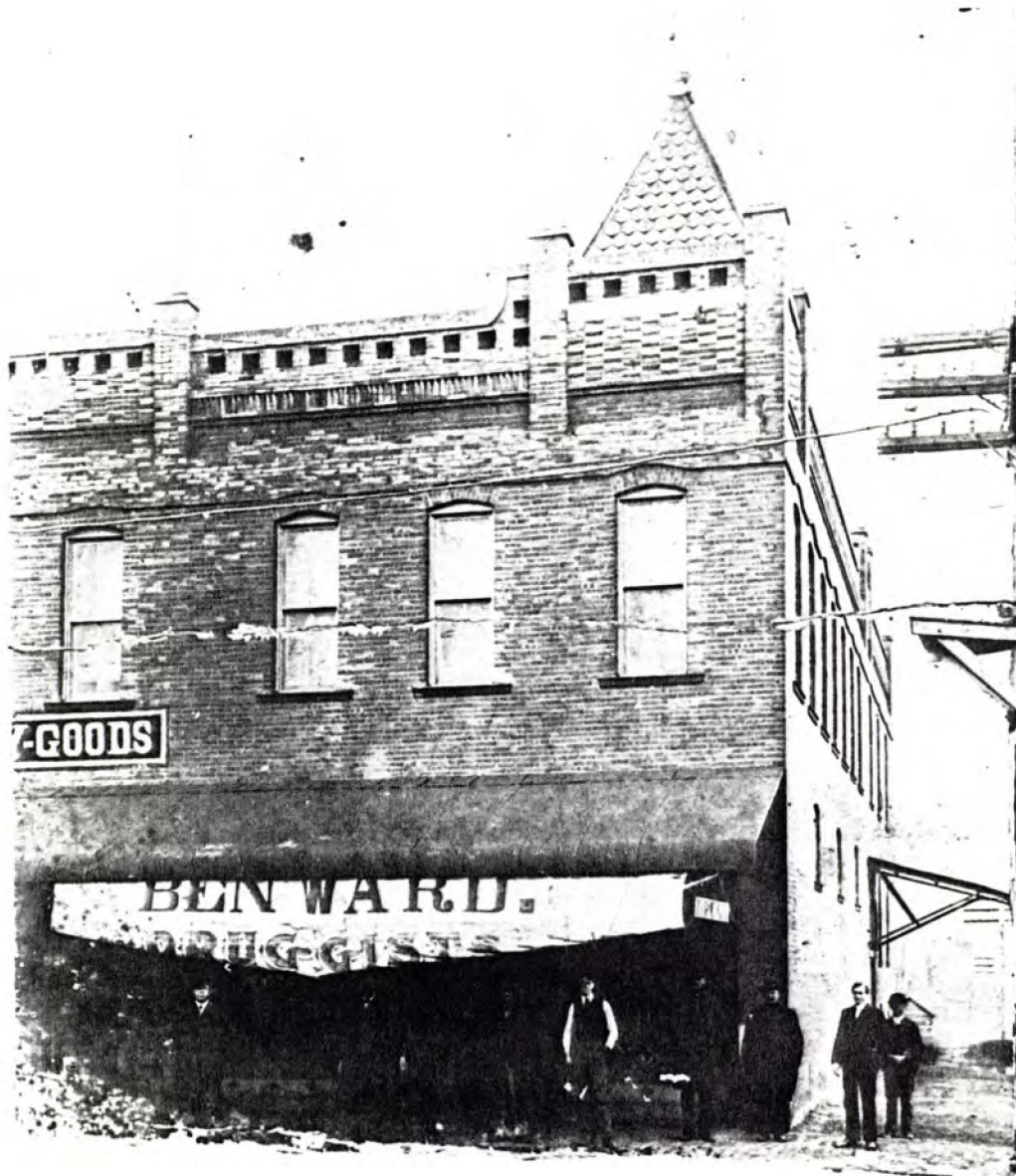


Exhibit #5
McKnight Building/Knights of
Pythias Hall
Broad Street 1997



Exhibit #4
McKnight Building/Knights of
Pythias Hall
Main Street 1997



Exhibit #6
McKnight Building/Knights of
Pythias Hall
Smith Street 1997

21

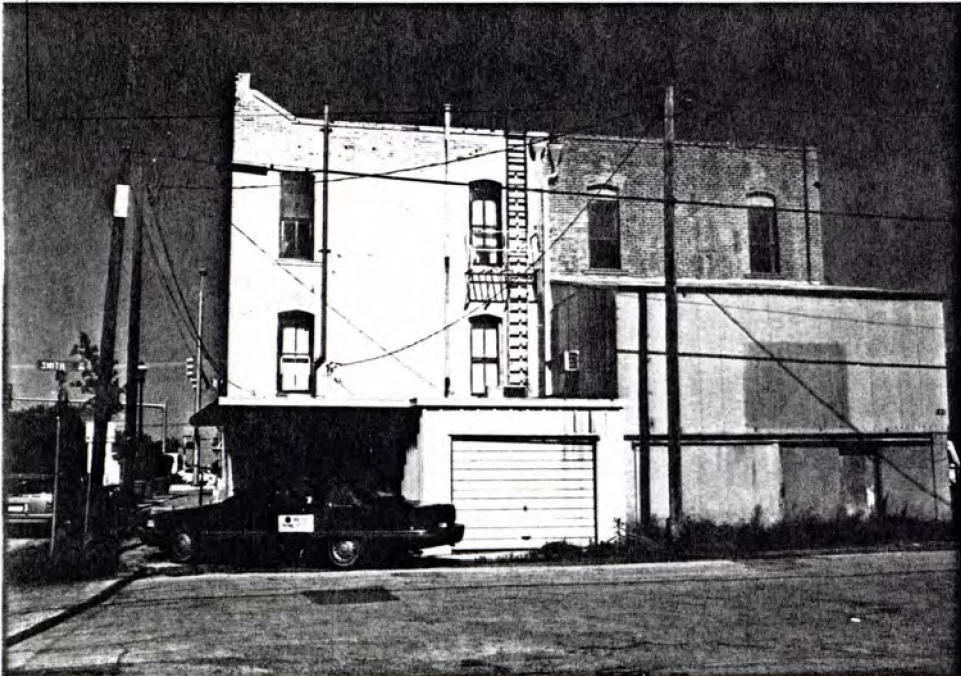


Exhibit #7
McKnight Building/Knights of
Pythias Hall
Proposed marker location
on front of building on Main
Street



Proposed
Marker
site